HALF-YEARLY POST EC COMPLIANCE REPORT

OF

Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2,

64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1,

63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

PERIOD

July 2023 – December 2023

Project Proponent

M/s. Shree Varad Builders and Developers

LLP and Shree Mahalaxmi Enterprises.

SHREE VARAD

BUILDERS & DEVELOPERS LLP

Reg. Add : C-501, Sanskruti 1 Co-op. Hsg. Soc., J. N. Road, Vasai (W), 401 201, Tal. Vasai, Dist. Palghar, Maharashtra, India.

Office Add : Shop No. 19, Sanskruti 1 Co-op. Hsg. Soc., J. N. Road, Vasai (W), 401 201, Tal. Vasai, Dist. Palghar, Maharashtra, India. Email : shreevbd@gmail.com

LLP ID No. : AAN-9910

Date: 09-03-2024

To The Director Regional Office (WCZ), Ministry of Environment, Forest and Climate Change, Nagpur

Subject: Submission of six-monthly monitoring report July-December, 2023 for Environmental Clearance for Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

Ref: No. SIA/MH/MIS/260153/2022 dated. 23.02.2023

Sir,

With reference to above subject, we would like to inform you that we have been accorded the environmental clearance for our Commercial project from SEIAA, Maharashtra on 11.04.2023. We hereby submit six monthly monitoring report for the period ended (July-December, 2023) for building and construction project.

We hope that the above submission meets your expectation and request you to kindly give us receipt of submission of the same.

Thanking You,

Yours Faithfully,

Mr. Rajesh Vartak,

MI/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises

CC : Member Secretary, SEIAA Member Secretary, MPCB Member Secretary, CPCB

SHREE VARAD BUILDERS AND DEVELOPERS + Limited Liability Partnership+ Vasai, Maharashtra PIN : 401 201.

महाराष्ट्र प्रदूषण नियंत्रण मंडळ कल्पतर पॉईट, २ रा मजला, सायन सर्कल, सिनेप्लॅनेट समेंब, सायन (पूर्व), मुंबई - ४०० ०२२. फोन :-२४०१०४३७ / २४०२०७८१. Website www.mpcb.gov.in

Project Status Sheet

#	Particulars	Details					
A	Status of construction as on date	Excavation - 100% Basement - 75%					
1	No of constructed building & its floor	-					
2	Total Constructed Area including non FSI in sq. m as on date	Basement raft done 75%					
3	Year of completion of project	2029					
B	Total investment as on date						
1	Total investment on construction activities including land	Rs. 1182.19 lacs					
2	Total investment on Environmental facilities	-					
С	Environmental Facilities						
1	STP Capacity (if installed)	-					
2	STP Technology (if installed)	-					
3	OWC capacity (if installed)	-					
4	RWH Tank capacity (if installed)						
D	Details of any court case/litigation, Stop work etc.	NA					

SHREE VARAD + Limited Liability Partnership+ Vasai, Maharashtra PIN : 401 201.

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COMPLIANCE OF EC CONDITION

FOR

Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar..

PROJECT PROPONENT

M/s. Shree Varad Builders and Developers

LLP and Shree Mahalaxmi Enterprises.

Point wise compliance status to various stipulations laid down by the Government of Maharashtra as per: Environmental Clearance issued vide letter no. SIA/MH/MIS/260153/2022 dated. 23.02.2023 as follows:

Specific Conditions:

Sr.	COMPLIANCE	REPLY			
No	COMPLIANCE				
SEA	C Conditions				
1	PP to submit IOD/IOA/Concession document/plan approval or any other form of documents as applicable clarify its conformity with local planning rules and provisions there under as per circular dated 30.01.2014 issued by the environmental department, Govt of Maharashtra PP to obtain CFO NOC	We have plan approval from Vasai Virar City Municipal Corporation vide Ref No. VVCMC/TP/AMEND/VP/58068/5819/351/2022- 23 Dated 04.10.2022 Copy of approved plan attached as Annexure 01 . We have obtained CFO NOC, attached as Annexure 02 .			
3	Planning authority to ensure the assured water supply provision, storm water drainage, sewer line facility are made available within the vicinity of the project before issuing the OC.	Condition is noted.			
4	PP to submit revised architect certificate regarding break up of FSI, Non FSI & Total construction area as per old DCR & prevailing UDCR, 2020.	We hereby submit revised architect certificate regarding break up of FSI, Non FSI &Total construction area as per old DCR & prevailing UDCR, 2020as Annexure 03.			
5	PP to revise the STP capacity to extent of only 10% of actual sewerage generation with in project site. PP to reduce discharge of treated water up to 35%, PP to submit undertaking from concern authority/Agency/third party regarding use of excess treated water.	Condition is noted.			
6	PP to obtain NOC from state wetland authority, if required.	Project does not fall under Wetland Zone. Hence, NOC from State Wetland NOC Not Applicable.			
SEL	AA Conditions				
1	This EC is restricted up to 69.95 m height only as per CFO NOC.	Condition is noted.			
2	PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving	Condition is noted.			

M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises| July, 2023 – December, 2023

Sr. COMPLIANCE REPLY is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement. Refer Annexures 04. 3 PP to achieve at least 5% of total energy requirement from solar/other renewable sources. Refer Annexures 04. 4 PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA.III dt.04.01.2019. Condition is noted. 5 SEIAA after deliberation decided to grant EC for FSI-12426.71 m2, Non FSI- 7660.79nm2, Total BUA-20087.49 m2. (Plan approval No. VVCMC/TP/AMEND /58068/5819/351/2022-23 Condition is noted.	
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VVCMC/TP/AMEND /58068/5819/351/2022-23	
dated.04.10.2022)	
GENRAL CONDITIONS	
(Construction Phase)	
1 The solid waste generated should be properly	
Collected and segregated. Dry/inert solid waste Condition is noted and we shall com	nly the same
should be disposed of to the approved sites for land	pry the same.
filling after recovering recyclable material.	
2 Disposal of muck, Construction spoils, including,	
bituminous material during construction phase	
should not create any adverse effect on the All construction waste will get co	llected and
neighbouring and communities and be disposed segregated properly. Most of that	shall be
taking the necessary precautions for general safety reused for the construction activit	у.
and health aspects of people, only in the approved	
sites with the approval of competent authority.	
3 Any hazardous waste generated during	
construction phase should be disposed of as per	
applicable rules and norms with necessary We shall comply the same.	
approvals of the Maharashtra Pollution Control	
Board.	
4 Adequate drinking water and sanitary facilities Adequate drinking water facility shall	ll ba
should be provided for construction workers at the provided for the workers at the site d	
site. Provision should be made for mobile toilets construction phase.	uring
The safe disposal of wastewater and solid wastes	uring

Sr. No	COMPLIANCE	REPLY
	generated during the construction phase should be ensured.	
5	Arrangement shall be made that waste water and storm water do not get mixed.	Covered sewage system has been proposed which is connected to STP for the treatment and reuse of the treated water. Excess treated water shall be disposed of into the sewer drain.
6	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.	Tanker water is used for construction work.
7	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	There is no extraction of ground water.
8	Permission to draw ground water for constructionof basement if any shall be obtained from thecompetentAuthoritypriortoconstruction/operation of the project.	Use of only Tanker water for construction practice.
9	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	Adequate measures are taken into consideration to minimize the wastage of water.
10	The Energy Conservation Building code shall be strictly adhered to.	Condition is noted and we shall comply the same.
11	All the topsoil excavated during construction activities should be stored for use in horticulture I landscape development within the project site.	Excavated top soil is used for landscaping.
12	Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that _natural drainage system of the area is protected and improved.	Condition is noted.
13	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	Soil testing was done, according to the reports all the parameters are within limit and so there is no threat to groundwater quality by leaching of heavy metals and other toxic contaminants.
14	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment clearance.	Condition is noted.

Sr. No	COMPLIANCE	REPLY				
15	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to environments (Protection) Rules prescribed for air and noise emission standards.	DG of 250 KVA capacity shall be used as backup during construction phase. These are environment friendly make and provided with acoustic enclosure to avoid noise emission.				
16	PP to strictly adhere to all the condition mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment clearance.	Condition is noted				
17	Vehicle hired for transportation of Raw material shall strictly comply the emission norm prescribed by ministry of road Transport and Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.	Condition is noted and we shall comply the same.				
18	Ambient noise level should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measure should be made to reduce ambient air and noise level during construction phase, so as to conform to be stipulated standards by CPCB/MPCB.	 Following care will be taken regarding noise levels with conformation to the residential area. Use of well-maintained equipment fitted with silencers. Noise shields near the heavy construction operations are provided. Construction activities are limited to daytime hours only. Also, use of Personal Protective Equipment (PPE) like ear muffs and ear plug during construction activities. 				
19	Diesel power generating sets proposed as as source of backup power for elevators and common area illumination during construction phase should have enclosed type and conform to rule made under the environment (Protection) Act, 1986, The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the Dg sets may be decided with in consultation with Maharashtra Pollution control Board.	 •D.G. sets will be provided as back up for Residential buildings. • 250 KVA D.G. set will be provided with silencer & acoustic enclosures. The stacks shall be provided as per MPCB norms. 				

Sr.	COMPLIANCE	REPLY				
No	COMPLIANCE					
20	Regular supervision of the above and other					
	measure for monitoring should be in place all	Regular supervision done by our site engineer to				
	through the construction phase, so as to avoid	take care of the construction activity and of the				
	disturbance to the surroundings by a separate	surroundings.				
	environmental cell/ designated person.					
B) O	peration phase					
1	a) The solid waste generated should be properly					
	collected and and segregated. b) Wet waste	Garbage will be collected manually from each of				
	should be treated by Organic Waste Converter	the building and carted to collection spot through				
	and treated Waste (manure) should be utilized	trolleys. In order to avoid problems associated				
	in the existing premises for gardening. No wet	with solid waste disposal problems, an effective				
	garbage will be disposed outside the premises.	solid waste management system will be followed				
	c) Dry/inert solid waste should be disposed of	by segregating the wet and dry garbage. Wet				
	to the approved sit for land filling after	waste will be treated by Organic Waste Converter.				
	recovering recyclable material.	Converter.				
2	E-waste shall be disposed through Authorized	Yes, E-waste shall be disposed through				
	vendor as per E-waste (Management	Authorized vendor as per E-waste (Management				
	and Handling) Rules, 2016.	and Handling) Rules, 2011				
3	a) The installation of the Sewage Treatment Plant					
	(STP) should be certified by an independent expert					
	and a report in this regard should be submitted to					
	the MPCB and Environment department before the					
	project is commissioned for operation. Treated	STP of capacity of 130 CMD (MBBR) has been				
	effluent emanating from STP shall be recycled/	provided to treat the waste water. STP has been				
	reused to the maximum extent possible. Treatment	provided by established consultant and operation				
	of 100% grey water by decentralized treatment	and maintenance shall be done by the technical				
	should be done. Necessary measures should be	persons of consultant. MOU will be done for the maintenance. Refer Annexure 05 .				
	made to mitigate the odour problem from STP. b)	maintenance. Refer Annexure 05.				
	PP to give 100 % treatment to sewage /Liquid waste					
	and explore the possibility to recycle at least 50 $\%$					
	of water, Local authority should ensure this.					
4	Project proponent shall ensure completion of STP,					
	MSW disposal facility, green belt development	STP shall be provided for Recycling of				
	prior to occupation of the buildings. As agreed	wastewater. Proper disposal of waste will be done				
	during the SEIAA meeting, PP to explore possibility	through well managed Solid Waste management				
	of utilizing excess treated water in the adjacent area	team.				
	for gardening before discharging it into sewer line	team.				
	No physical occupation or allotment will be-given					

M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises | July, 2023 – December, 2023

Sr. No	COMPLIANCE	REPLY
110	unless all above said environmental infrastructure	
	is installed and made functional including water	
	requirement.	
5	The Occupancy Certificate shall be issued by the	
	local Planning Authority to the Project only after	
	ensuring sustained availability of drinking water	Condition is Noted.
	connectivity of sewer line to the project site and	Condition is Noted.
	proper disposal of treated water as per	
	environmental norms.	
6	Traffic congestion near the entry and exit points	This effect would be prominent during
	from the roads adjoining the proposed project site	construction as well as operation phase. The
	must be avoided. Parking should be fully	probability of inconvenience faced due to the
	internalized and no public space should be utilized.	frequency of truck movement during construction
	•	phase would be minimized by better control of
		traffic movement in the area. Noise levels
		expected from the planned operating conditions
		have been assessed and are likely to be within
		acceptable levels. The impacts have been
		mitigated by the suggested measures in the "air
		control and management section".
		Anti-honking sign boards are placed in the
		parking areas and on entry and exit point. The
		project will be provided with sufficient road
		facilities within the project premises and there will be a large area provided for the parking of
		vehicles.
7	PP to provide adequate electric charging points for	We shall propose 25% of charging points for
,	electric vehicles (EVs).	Electric vehicles on total parking in the project.
8	Green Belt development shall be carried out	•The green area will be approx. 381.69 sq.mt
Ũ	considering CPCB guidelines including selection of	•A combination of native evergreen trees and
	plant species and in consultation with the local	ornamental flowering trees, shrubs and palms are
	DFO/Agriculture Dept.	planned in the complex.
	5 I	•There will be plantation of about 105 plants.
		Refer Annexure 06.
9	A separate environment management cell with	Separate environment management cell/
	qualified staff shall be set up for implementation of	consultant with qualified staff is formed and
	the stipulated environmental safeguards.	implementing the same.

Sr. No	COMPLIANCE	REPLY
10	Separate funds shall be allocated for ·implementation of environmental protection measures/EMP along with item-wise breaks-up. This cost shall include as part of the project cost. The fund earmarked for the environment protection measures shall not be diverted for other purpose.	EMP cost has been worked out and allocated for all air pollution devices and other facilities. Refer Annexure 07.
11	The project management shall advertise at least in to local newspaper widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter informing that the project has been accorded environment clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://parivesh.nic.in A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	The advertisement was published in Marathi and English language local newspaper. In Marathi newspaper "NAVSHAKTI" dtd. 14.03.2023 & in English newspaper 'The FREE PRESS JOURNAL" dtd. 14.03.2023. Refer Annexure 08. We shall comply the same.
13	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. S02, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicates for the projects shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Condition is noted.

Sr. No	COMPLIANCE	REPLY				
C) (General EC Condition: -					
1	PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.	Condition is noted and we shall comply the same.				
2	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.	We have obtained Consent to Establish from MPCB. Copy is enclosed as Annexure 09 .				
3	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environment clearance.	Environmental Clearance is already obtained. Refer Annexure 10 .				
4	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC condition including result of monitored data (both in hard copies as well as by e- mail to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.	Condition is noted and submitted to regional office of MoEF. We are submitting herewith six- monthly reports to environment department, Mantralay & MPCB.				
5	The environmental statements for each financial year ending 31 st March in Form-V as is mandated to be submitted by the project to the concerned State pollution Control Board as prescribed under the environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC condition shall also be sent to the respective Regional Offices of MoEF E-mail.	Condition is noted and we shall comply the same.				

Proposed Residential with Shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar by M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises.

Sr. No	COMPLIANCE	REPLY			
6	No further Expansion or modification, other than mentioned in the EIA Notification, 2006 amendments, shall be carried out without prior approval of the SEIAA. In case of deviation or alteration in the project proposal form those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of condition imposed and to add additional environmental protection measure require, if any.	Condition is noted.			
7	This environmental clearance is issued subject subject to obtaining NOC form forestry & Wild life angle including clearance from the standing committee of the national board for Wild life as if applicable & this environmental clearance does not necessarily implies the Forestry & Wild life c clearance granted to the project which will be to the considered separately on merit.	As the site is not within the radius as define under the circular number and hence NOC is not applicable.			

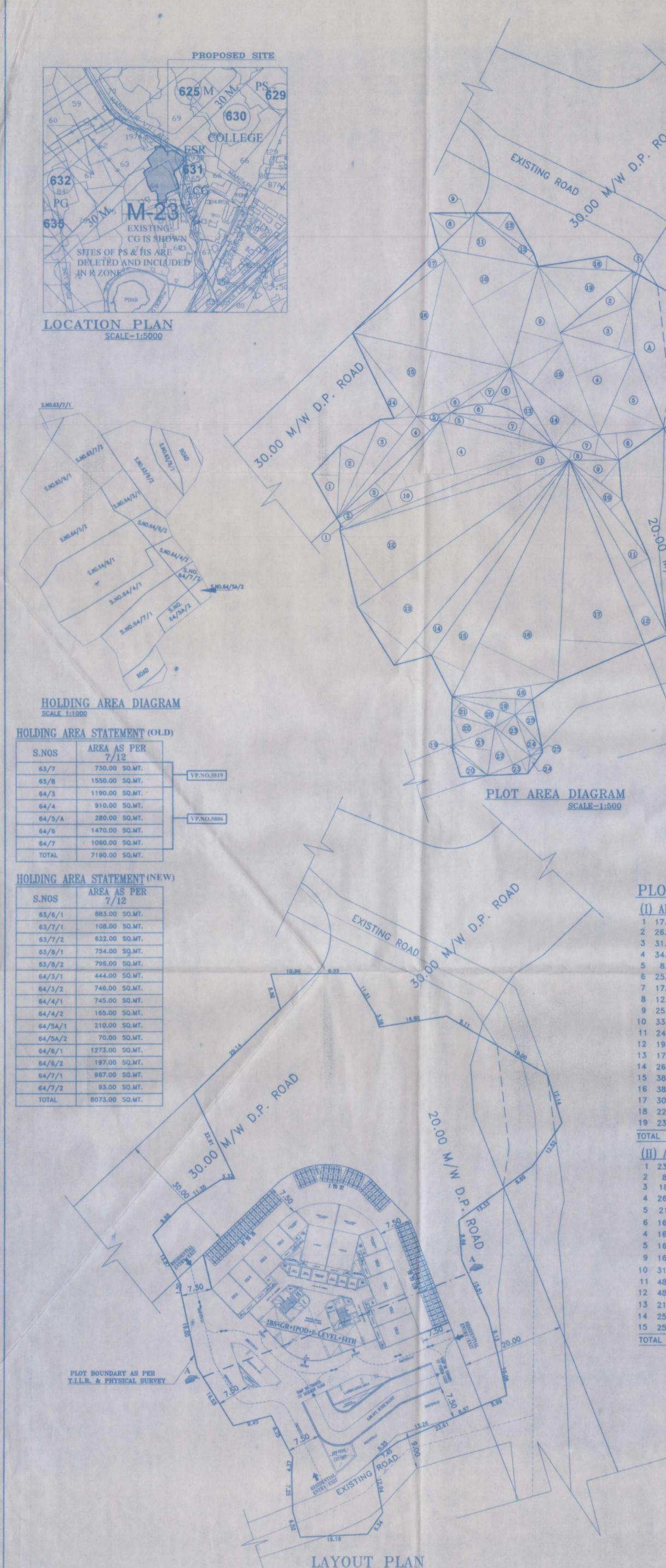
ANNEXURES

Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

PROJECT PROPONENT

M/s. Shree Varad Builders and Developers

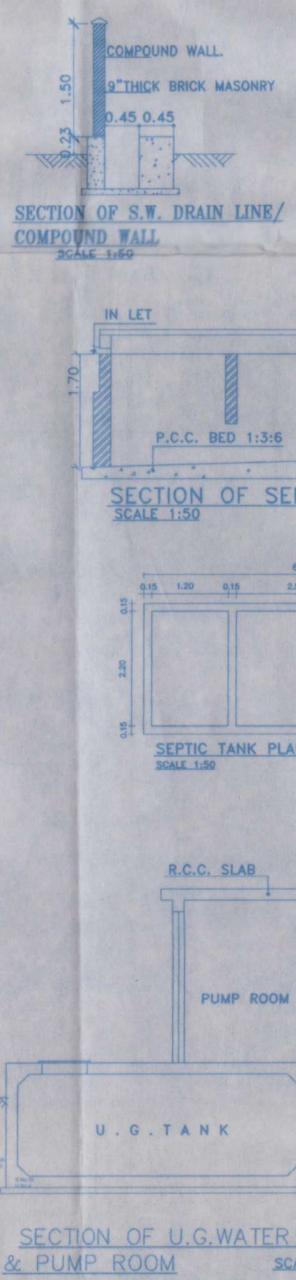
LLP and Shree Mahalaxmi Enterprises.



												PROFORMA-I		
P-LINE AREA	A STATEMEN	T						NEW	AREA		A.	[AS PER NEW UDCPR]	SQ.MT	
FLOORS	P-LINE AREA (COMM.)	P-LINE AREA (RESI.)	TOTAL P-LINE AREA	E-LEVEL AREA	DRIVERS	STAIR CASE & PASSAGE AREA		BES/STILT/PODIUM	REFUGE	GRAND TOTAL	1.	AREA OF PLOT (a) AS PER OWNERSHIP DOCUMENT (7/12)	8073.0	
1ST BASEMENT FLOO	(SQ.MT.)	(SQ.MT.)	(SQ.MT.)	(SQ.MT.)	(SQ.MT.)	(SQ.MT.) 144.33	(SQ.MT.) 9.67	(SQ.MT.) 1792.86	(SQ.MT.)	(SQ.MT.) 1946.86		(b) AREA IN AS PER POSSESSION (c) EXISTING ROAD	7824.0	
2ND BASEMENT FLOO						144.33	9.67	1867.20		2021.20	2.	(d) BALANCE PLOT AREA (7824.00 - 498.3) DEDUCTIONS FOR		
GROUND FLOOR	696.83		696.83			428.57		- 19		1125.40		(a) 20.00 M.W. D.P.ROAD (b) 30.00 M.W. D.P.ROAD	1405.0	
1ST PODIUM FLOOR					12.00		10.22	2059.38		2081.60	3.	TOTAL (a+b) BALANCE AREA OF THE PLOT (1 - 2)	3571.4 3754.1	
E-LEVEL FLOOR				532.81		452.28				985.09	4.	AMENITY SPACE (IF APPLICABLE) (g) REQUIRED-		
1ST FLOOR		852.01	852.01							852.01		(b) ADJUSTMENT OF 2(B), IF ANY- (C) BALANCE PROPOSED-		
2ND FLOOR 3RD FLOOR		852.01 852.01	852.01							852.01	5.	NET PLOT AREA (3-4) RECREATIONAL OPEN SPACE (IF APPLICABLE)	3754.1	
4TH FLOOR		752.88	752.88						98.73	851.61		(c) REQUIRED- (b) PROPOSED- = 743.70	N N	
5TH FLOOR		852.01	852.01							852.01	7.	INTERNAL ROAD AREA PLOTABLE AREA (IF APPLICABLE)		
6TH FLOOR		852.01	852.01			7-				852.01	9.	BUILT UP AREA WITH REFERENCE TO BASIC F.S.I. (3754.12 X 1.10 = 4129.5) ADDITION OF FSI ON PAYMENT OF PREMIUM	3) 4129.	
7TH FLOOR		852.01	852.01							852.01	10.	(a) MAXIMUM PREMIUM AREA PERMISSIBLE. (7325.61 X 0.50 = 3662.8 (b) PROPOSED BUILT-UP AREA ON PAYMENT OF PREMIUM.	31) 3662	
STH FLOOR		852.01	852.01						/	852.01	11.	IN-SITU FSI/TOR LOADING	3002	
9TH FLOOR		752.88	752.88 852.01						98.73	851.61		(a) IN-SITU AREA D.P.ROAD [2.0 X SR.NO.2(a)], IF ANY (b) IN-SITU AREA AGAINST AMENITY SPACE IF HANDED OVER		
11TH FLOOR		852.01	852.01							852.01		[2.00 OR].85 X SR.NO.4 (b)AND /OR(c)]. (c) MAXIMUM TDR BUILT-UP AREA AREA PERMISSIBLE (7325.61 X 1.40 = 10255.83	5)	
12TH FLOOR		852.01	852.01							852.01		(d) ADD TDR AREA (e) TOTAL IN-SITU/TDR LOADING PROPOSED (11(a)+(b)+(c))		
13TH FLOOR		852.01	852.01						«	852.01	13.	ADDITIONAL FSI AREA UNDER CHAPTER NO.7 MAXIMUM ENTITLEMENT OF BUILT-UP AREA IN THE PROPOSAL (9+10a+11c) = 18048.1	on some state of the second state of the secon	
14TH FLOOR		852.01	852.01					-		852.01	14. 15.	ANCILLARY AREA FSI UPTO 60% WITH PAYMENT OF CHARGES. (18048.19X0.60 = 10828.9 TOTAL ENTITLEMENT BUILT-UP AREA (13+14) = 28877.1	0)	
TOTAL	696.83	11729.88	12426.71	532.81	12.00	1169.51	29.56	5719.44	197.46	20087.49	16.	ENTITLEMENT (9+10b)	7792 0%) 4675	
		a fr	100								17.	TOTAL PERMISSIBLE BUILT UP AREA INCLUDING ANCILLARY (7792.34 + 4675.4 TOTAL PROPOSED CONSTRUCTION AREA = (AS PER 'P-LIN	40) 12467	
	PARKING	AREA	STATEM	IENT								(i) NEW BUILT-UP AREA = (12396.41 / 1.6	50) 7747	
Γ	CARPET	TENEMENT	CAR PA	RKING	the second second	O WHEELER PARK	and the second se				B.	(ii) 60% ANCILLARY = (7747.76 X 0.6 BALCONY AREA STATEMENT	4048	
	COMM. 656.68 SQ.MT.	1 FOR 100.00 SQ	REQUIR MT. 656.68/100=		ROVIDED	REQUIRED 656.68/20= 32.83 NOS	PROVIDED					(i) PERMISSIBLE BALCONY AREA PER FLOOR		
	TENEMENT BETWEEN 40.00 TO 80.00 SQ.MT.		42/2.00= 2		1 22	42/0.40= 105.00 NOS						(ii) PROPOSED BALCONY AREA PER FLOOR (iii) EXCESS BALCONY AREA PER FLOOR	15 PBR	
	TENEMENT BETWEEN 80 TO 150.00 SQ.MT. ADD. VISITORS	54 NOS	54/1.00= 5 5% OF (81.57)=			54/0.333= 162.16 NOS K OF (299.99)= 15.00 NOS					C.	(iv) TOTAL EXCESS BALCONY AREA FOR ALL FLOORS TENEMENT STATEMENT		
	TOTAL	96 FLATS		55 NOS		314.99 NOS						(i) PROPOSED AREA(ITEM A,14 ABOVE.)	1242	
			85.65 X	80% NOS	69	314.99 X 80% NOS	252					(ii) LESS DEDUCTION OF NON-RESIDENTIAL AREA (SHOP,ETC.) (iii) AREA AVAILABLE FOR TENEMENTS(i MINUS ii)	1172	
L	(NOTE:- CARPET	AREA OF FLAT	1	ONY CONSU	FRED FOR	252 PARKING PRO	VIDED					(iv) TENEMENTS PERMISSIBLE (DENSITY OF TENEMENTS/HECTARE) (v) TENAMENTS PROPOSED	352	
	(nore: onnier			on conon	VENED TON							(vi) TENEMENTS EXISTING TOTAL TENEMENTS ON THE PLOT		
						_		-			D.	PARKING STATEMENT	Test.	
- 1						Ş		e e e e e e e e e e e e e e e e e e e) ₹			(i) PARKING REQUIRED BY RULE CAR		
												SCOOTER/MOTORCYCLE OUTSIDERS (VISITORS)		
												(ii) LOCK-UP GARAGES PERMISSIBLE		
									∇			(iii) LOCK-UP GARAGES PROPOSED CAR		
							GAT	E ELEVATION SCALE 1:500			Carlanda A	SCOOTER/MOTORCYCLE		
												OUTSIDERS (VISITORS)		
											E	(iv) TOTAL PARKING PROVIDED		
											Ε.	(iv) TOTAL PARKING PROVIDED TRANSPORT VEHICLES PARKING (i) SPACES FOR TRANSPORT VEHICLES PARKING REQUIRED BY RULES		
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						*		WALL.				(iv) TOTAL PARKING PROVIDED TRANSPORT VEHICLES PARKING (i) SPACES FOR TRANSPORT VEHICLES PARKING REQUIRED BY RULES (ii) TOTAL TRANSPORT VEHICLES (PARKING SPACES PROVIDED)		
ULATION	(III) AREA	UNDER E	KISTING RO	AD		1.50	<u>9"THIC</u> K B	WALL.			F. CON	(iv) TOTAL PARKING PROVIDED TRANSPORT VEHICLES PARKING (i) SPACES FOR TRANSPORT VEHICLES PARKING REQUIRED BY RULES (ii) TOTAL TRANSPORT VEHICLES (PARKING SPACES PROVIDED) LEGEND PROFORMA II NTENTS OF SHEET		
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.P ROAD 57.81 SQMT	B AS 1 19 10.27 X 20 11.22 X	PER T.I.L.R 4.05 X 0.5 1.07 X 0.5	= 280.00 0 = 20.79 0 = 6.00	SQMT SQMT SQMT		.23 1.50	9"THICK B				F. CON LAYOUT HOLDING	(iv) TOTAL PARKING PROVIDED TRANSPORT VEHICLES PARKING (i) SPACES FOR TRANSPORT VEHICLES PARKING REQUIRED BY RULES (ii) TOTAL TRANSPORT VEHICLES (PARKING SPACES PROVIDED) LEGEND PROFORMA II NTENTS OF SHEET PLAN, BULIT UP AREA STATEMENT, PARKING STATEMENT, LOCATION PLAN, PLOT AREA DIAGR G AREA STATEMENT & ARCHITECTURAL DRAWINGS ETC.		
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CARPET	TENEMENT	CAR PARKING		TWO WHEELER PARKING		
AREAS		REQUIRED	PROVIDED	REQUIRED	PROVIDED	
COMM. 656.68 SQ.MT.	1 FOR 100.00 SQMT.	656.68/100= 6.57 NOS		656.68/20= 32.83 NOS	Toral Color	
TENEMENT BETWEEN 40.00 TO 80.00 SQ.MT.	42 NOS	42/2.00= 21.00 NOS		42/0.40= 105.00 NOS		
TENEMENT BETWEEN 80 TO 150.00 SQ.MT.	54 NOS	54/1.00= 54.00 NOS		54/0.333= 162.16 NOS		
ADD. VISITORS		5% OF (81.57)= 4.08 NOS	12.000	5% OF (299.99)= 15.00 WOS	al Fil h	
TOTAL	96 FLATS	85.65 NOS		314.99 NOS		
		85.65 X 80% NOS	69	314.99 X 80% NOS	252	
		69 PARKING PROVID	ED	252 PARKING PROV	IDED	





PI	LOT	A	REA	4	C	AL(CULA	TION	1
(I)	AREA	1	UNDE	R	30	M/W	D.P F	ROAD	
1	17.87	X	6.47	X	0.50	=	57.81	SQMT	
2	26.15	X	6.28	X	0.50	=	82.11	SQMT	
3	31.20	X	6.51	X	0.50	=	101.55	SQMT	
4	34.33	X	4.75	X	0.50	=	81.53	SOMT	
5	8.45	X	1.67	X	0.50	=	7.06	SQMT	1
6	25.32	X	3.03	X	0.50	=	38.36	SQMT	
7	17.70	X	3.93	X	0.50	=	34.78	SQMT	
8	12.66	X	7.02	X	0.50	=	44.44	SQMT	
9	25.17	X	10.53	X	0.50	=	132.52	SQME	
10	33.06	X	18.38	X	0.50	=	303.82	SOMT	
11	24.19	X	9.93	X	0.50	=	120.10	SQMT	
12	19.72	X	1.71	X	0.50	=	16.86	SQMT	
13	17.12	X	4.74	X	0.50	=	40.57	SOMT	
14	26.72	X	5.30	X	0.50	=	70.80	SQMT	
15	38.07	X	17.16	X	0.50	=	326.64	SQMT	
16	38.07	X	22.90	X	0.50) =	435.95	SQMT	
17	30.25	X	3.28	X	0.50) =	49.61	SQMT	
18	22.90	X	3.48	X	0.50) =	39.84	SQMT	
19	23.00	X	15.78	X	0.50) =	181.47	SQMT	
TOT	AL	1				=	2165.82	SQMT	
(11) ARE	A	UNDE	R	20	M/	W D.P	ROAD	
1	23.00	X	6.15	X	0.50) =	70.72	SQMT	
2	8.37		1.70	X			7.12		
3	18.81	X	11.48	X			107.97	SQMT	
4			15.45				208.03	SQMT	
5	21.91	X	14.15	X	0.50) =	155.01	SOMT	
6	16.10	X	7.03	X	0.50) =	56.59	SOMT	
4	16.10	X	5.25	X	0.50) =	42.26	SQMT	
5	16.10	X	2.85	X	0.50) =	22.94	SQMT	
9	16.45	X	7.71	X	0.50) =	63.42	SQMT	
10	31.10	X	4.10	X	0.50) =	63.76	SOMT	
11	48.88	X	5.87	x	0.50) =	143.46	SQMT	
12	48.88	X	6.47				158.13	SOMT	
13	21.15	X	3.74				39.55	SOMT	
14	25.56		8.35				106.71		
15	25.56	X					160.00		
TOT						1	1405 67	and the second	

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D.P

RO V 0

A

B	AS	S F	PER T.I.	L.F	2	=	280.00	SQMT
19	10.27	X	4.05	X	0.50	#	20.79	SQMT
20	11.22	X	1.07	X	0.50	=	6.00	SQMT
21	11.80	X	9.45	X	0.50	=	55.75	SQMT
22	11.80	X	10.20	X	0.50	=	60.17	SQMT
23	10.97	X	5.47	X	0.50	=	30.00	SOMT
24	10.59	X	3.39	x	0.50	=	17.95	SOMT
25	11.53	X	4.81	X	0.50	=	27.73	SQMT
TO	TAL					=	498.39	SQMT
1 7 7				TT	DED	D	TONE	
11) Ar	(E	AU	NI	JER	R	.ZONE	
A+C	AS	S F	PER T.I.	L.F	2	=	225.00	SQMT
1,	14.16	X	1.05	X	0.50	=	7.43	SQMT
2	13.19	X	1.55	X	0.50	=	10.22	SQMT
3	34.33	X	3.45	X	0.50	=	59.22	SQMT
4	42.22	X	12.70	X	0.50	=	268.10	SQMT
5	28.09	X	2.37	X	0.50	=	33.29	SQMT
6	17.57	X	2.71	X	0.50	=	23.81	SQMT
7	26.11	X	3.87	X	0.50	=	50.52	SQMT
8	10.52	X	7.35	X	0.50	=	38.66	SQMT
9	10.96	X	1.18	X	0.50	=	6.47	SQMT
10	55.48	X	4.13	X	0.50	=	114.57	SQMT
11	57.74	X	3.95	X	0.50	=	114.04	SQMT
12	62.31	X	16.71	X	0.50	#	520.60	SQMT
13	65.30	X	15.00	X	0.50	=	489.75	SQMT
14	65.30	X	5.12	X	0.50	=	167.17	SQMT
15	63.83	X	8,57	X	0.50	=	273.51	SQMT
16	63.83	X	20.08	X	0.50	=	640.85	SQMT
17	53.74	X	19.30	X	0.50	=	518.59	SQMT
18	25.49	X	3.26	X	0.50	=	41.55	SQMT
19	19.20	X	3.65	X	0.50	=	35.04	SQMT
20	15.65	X	4.03	X	0.50	=	31.53	SQMT
	12.54		3.49					
							35.61	
23	11.22	X	3.37	X	0.50	=	18.91	SQMT
							5.80	
25	3.45	X	1.16	X	0.50	=	2.00	SQMT
TOT						=	3754.12	SQMT
	AL POT		REA					
	+ + \						7824.00	
TOT	AL ARE	A	AS PER	2	7/12	=	8073.00	SQMT



VASAI VIRAR CITY MUNICIPAL CORPORATION FIRE & EMERGENCY DEPARTMENT

Tel. No.: 0250-2525110,2464811,9822321684,7775042200,8975360101,8888864283,8888864275

VVCMC/FIRE/HQ/ 203 /2022-23

To,

The Deputy Director of Town Planning, Vasai Virar City Municipal Corporation, Dist.-Palghar.



DATE: 05/05/2022

- Sub:-Grant of Revised "Provisional No Objection Certificate" for Proposed Residential Cum Commercial Building located on Land Bearing S.No.63/8, S.No.64/4, S.No.64/5A, S.No.64/6, S.No.64/7, S.No.63/7 & S.No.64/3 of Village: Chulne, Tal: Vasai, Dist: Palghar.
- Ref:- 1) A Letter from Deputy Director Town Planning No. V.V.C.M.C/TP/1707/2021-22, Dated:18/02/2022 (VP- 5806 & 5819)
 - 2) An Application received from M/s- En Con Project Consultants, Dated:14/02/2022
 - 3) An Application received from Developer M/s- Shree Varad Builders & Developers LLP, Dated:14/02/2022
 - 4) Gross built up area certificate received from M/s- En Con Project Consultants, Dated:14/02/2022
 - 5) CC issued by VVCMC/TP/CC/VP-5806 & 5819/129/2020-21, 10/12/2020
 - 6) This office Provisional Noc issued by VVCMC/FIRE/HQ/2284/2019-20, Dated:24/02/2020
 - 7) Site Photos Dated:18/04/2022

This is a proposal for construction of High rise **Residential cum Commercial Building** having **Two level Basement + Ground + 3 Podium + 18 upper floors** with a total **height 69.95mtrs**. From general ground level to terrace level.

Basement is below the building line as well as extends beyond the building line. It is proposed for Car Parking. Basement will be compartmented with fire curtains in such a way that, each compartment does not exceeds 1125sq.mtrs. Natural ventilation to the basement is provided through cutouts.

This office all ready given Provisional No Objection Certificate No. VVCMC/FIRE/HQ/2284/2019-20, Dated:24/02/2020 and now the Architect has again applied of Revised Provisional Fire Noc.

After Complying these recommendations this department will issue a Final No Objection Certificate for the purpose of occupational certificate.

Use of various floors is as follows:-

RESIDENTIAL CUM COMMERCIAL BUILDING

Sr. No	Bldg	Floor	Area sq.mtr	Height mtr
1		2 nd Basement	1985.90	- 6.50
2		1 st Basement	1908.50	- 3.40
3		Ground / Stilt Floor / Shopline	1125.40	0.30
4		1st Floor Parking (Podium)	2081.60	4.50
5	Resi	2 nd Floor Parking (Podium)	2081.60	7.55
6	Cum	3 rd Floor Parking (Podium)	2069.60	10.60
7	Comm	E-Level 1 st Floor	985.09	14.00
8	Bldg	2 nd Floor	852.01	17.65
9		3 rd Floor	852.01	20.75
10		4 th Floor (Refuge Area)	851.61	23.85
11		5 th Floor	852.01	26.95
12		6 th Floor	852.01	30.05
3		7 th Floor	852.01	33.15

14	8 th Floor	852.01	36.25
15	9 th Floor (Refuge Area)	851.61	39.35
16	10 th Floor	852.01	42.45
17	11 th Floor	852.01	45.55
18	12 th Floor	852.01	48.65
19	13 th Floor	852.01	51.75
20	14 th Floor(Refuge Area)	851.61	54.85
21	15 th Floor	852.01	57.95
22	16 th Floor	852.01	60.95
23	17 th Floor	852.01	63.95
24	18 th Floor	852.01	66.95
25	Total	26720.66	69.95

OPEN SPACE:

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The site abuts on 30.00mtrs & 20.00mtrs wide D.P. Road on North side & 9.00mtrs wide Existing Road on South side. as shown on the plan.

The side open spaces around the building are as under.

Sides	From Building Line to Plot Boundary
North	7.50mtrs + 30.00mtrs & 20.00mtrs D.P. Road
South	7.50mtrs.
West	7.50mtrs
East	7.50mtrs

STAIRCASE & LIFTS: THE DETAILS OF STAIRCASE:

Staircase description	Type of staircase	Width of staircase	Nos. of staircase
Leading from Basement to Terrace level	Open	2.00mtrs.	02 Nos.
The proposed staircases are externally loc air. Staircase leading to basement having staircase leading from basement is segrega upper floor, as shown on plans.	smoke check	k lobby at ba	sement and

THE DETAILS OF LIFTS:

and the second

Lifts Type	Profile	Nos. of lifts
Passenger lift	Leading from Basement floor to 18 th floor.	06 Nos.
lobby and com	rom lift bank shall be converted into fire lift as p amon corridors at each floor level is adequa shown in the plan.	per norms The lift tely ventilated to

Refuge area is provided Building at 4th, 9th & 14th floor as follows.

Location of refuge area	Height from ground level (Mtr)	Provided refuge area (Sq.mtrs)
4 th Floor	23.85	98.73
9 th Floor	39.35	98.73
14 th Floor	54.85	98.73

In addition to this, terrace floor above 18th floor will be treated as Refuge Area.

The proposal has been considered favorably taking into consideration the following:-

- i) The Architect has also been directed to provide alternate source of power supply for fire-fighting systems from a D.G. set.
- ii) The Architect has also been directed to provide Automatic sprinkler system in entire building including each room of each flat.
- iii) The Architect has also been directed to provide Automatic smoke detection system in electric meter room & in lift machine room.

- iv) The lift lobby / common passage are ventilated to outside air. This will facilitate speedy egress of smoke.
- v) During construction stage and before the final occupation party agreed to comply additional requirement stipulated by VVCMC Fire Brigade Officer, if any.

CONTROL FIRE BY CONSTRUCTION:-

Fire Resistance Barriers such as walls, partition and floors, separate building spaces. These barriers also delay or prevent fire from propagation from one place to another in addition, barriers are important features in any fire fighting operation because they dictate the size of fire.

The effectiveness of a depends upon its inherent fire resistance construction and its penetration. Use of flame retardant paints, fire stop barriers, firewalls, fire doors and windows. Other few methods for controlling the fires by construction in building.

Use of new fire resistive coating materials and technologies for limiting the spread of fire within the building, and use of fire resistant steels and concretes should be done while construction of high rise buildings.

1. ACCESS:-

- No compound wall shall be provided on Road side; however bollards with link chain may be permitted.
- ii) All access & fire tender access should be free of encumbrances.
- iii) Entrance gate if provided shall be of not less than 6.00 meters width each shall be provided, at locations marked on the plan. Archways, if any over the entrance gates, shall have height clearance of not less than 6.00 mtrs.

2. COURTYARDS:-

- i) The available courtyards on all the sides of the building including R.G. area shall be paved suitably to bear the load of fire engines weighting up to 48 M. tones each.
- ii) All the courtyards shall be in one plane.
- No structure of any type shall be permitted in courtyards of the building.

iv) othe courtyards shall be kept free from obstruction at all times.

CAR PARKING:-

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FIG

Car parking shall be permitted in the designated area.

ii) Drainage of the car parking area of all the levels shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trapped before connecting the building drainage or Municipal drainage.

- iii) Drainage of the car parking areas at all the levels shall be so laid as to prevent any overflow in the staircase, lift shaft etc.
- iv) The parking area shall not be used for dwelling purpose & repairing / maintenance purpose, at any time. Dwelling use of naked light/flame, repairing /maintenance of vehicles shall be strictly prohibited in the parking area.
- v) Repairing / servicing of cars, use of naked light shall not be permitted in the car parking areas.
- vi) The drive way shall be properly marked & maintained unobstructed
- vii) The Automatic Sprinkler System provided to the entire car parking area.

4. PODIUM / CAR PARKING FLOORS:-

- All the sides of the stilted / covered car parking shall be kept open except parapet walls of not more than 0.75 meters height.
- ii) Automatic sprinkler system to the entire parking floor & drencher system on the top of each podium floor shall be provided.
- iii) The driveways shall be properly marked and maintained unobstructed, proper illuminated signage shall be provided for escape route, ramps etc at prominent location.
- iv) The top of the podium shall bear the load of fire engines weighing upto 48 m. tones each with point load of 10 kgs./sq. cms.

5. BASEMENT:-

i) Each basement shall be separately ventilated. Vents with cross, sectional area (Aggregate) not less than 2.5 percent of the floor area spread evenly around the perimeter of the basement shall be provided in the form of grills or breakable stall boards lights or pavement lights or by way of shafts. Alternatively, a system of air inlets shall be provided at basement floor level and smoke outlets at basement ceiling level. Inlets and outlets may be terminated at ground level with stall boards or pavement lights as before but ducts to convey fresh air to the basement floor level shall have to be laid. Stall boards and pavement lights should be in position easily accessible to the fire Brigade personal and rescue teams and clearly marked 'SMOKE OUTLET' or 'AIR INLET' with an indication of area served at or near the opening.

- The basements shall be used for designated purpose only as shown in the plan. ii)
- iii) The basement shall be provided with natural ventilations through the ventilators, open cut outs as shown in the plan.
- iv) The staircases of the basement shall be of enclosed type and entry to basement areas shall be through two hours fire resistance self-closing door provided in the enclosed wall of the staircase and through smoke check / cut off lobby. The smoke check/ cut off lobby shall be mechanically pressurized.
- v) Mechanical ventilation shall be provided to the basement with 15 air changes per hour with an arrangement to accelerate the rate of air changes to 30 per hour in the event of a fire emergency.
- vi) The ducts of the mechanical ventilations system shall be of substantial metal gauge as per the relevant I.S. standard.
- vii) Basement area shall be divided in compartments as per rule.
- viii) The operating switches of the mechanical ventilation shall be located in the fire control room with appropriate zonal indications.
- ix) Exhaust duct shall be provided to draw out exhaust at ground level of the basement.
- x) Suitable signage's shall be provided in the basement showing exit direction, way to exits etc.
- xi) Automatic sprinkler system shall be provided in basement area /including ramp. These systems shall be installed as per the standard laid down by T.A.C. and relevant I.S. specifications
- xii) Smoke off lobby, Staircases, common passages & escape routes of the entire building shall be painted with fire retardant paint.
- xiii) Staircase and lift lobby shall have illuminated by inverter operated exits signs with IP 54 enclosure. Luminance of the signage's shall be such that they are visible from a distance of 12 to 16 meters.
- xiv) The staircase of the basement & the associated lift lobbies shall be pressurized in the event of fire. The pressure in this enclosed staircase and enclosed lift lobbies shall be maintained not less than 5m.m. W.G. & 2.5 mm W.G. for lift lobbies.
- xv) CO/Detector with audible alarm system shall be provided to all the basement areas and DIST. PAULTE circuit of the same shall be given / connected to mechanical ventilation system to start automatically on actuation of CO detector and the other detectors provided in the basement.
 - xvi) Ventilation system shall start automatically on actuation of detector provided in the basement area.

xvii) Exhaust duct, mechanical ventilation duct should not pass through exit or entry.

6. STAIRCASE :-

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- The flight width of staircases shall be maintained as shown in the enclosed plans. i)
- The layout of staircases shall be enclosed type as shown in the plan throughout its height ii) and shall be approached (gained) at each floor level at least two hours fire resistant self closing door (45 mm. thickness) placed in the enclosed wall of the staircase.
- iii) Internally located staircases & lobbies shall be pressurized.
- iv) Permanent vent at the top equal to 5% of the cross sectional area of the staircase shall be provided.
- Openable sashes or R.C.C. grills with clear opening of not less than 0.5 sq.mtrs. per v)landing on the external wall of the staircase shall be provided.
- vi) No combustible material shall be kept or stored in staircase / passage.
- vii) Internal staircases shall be no combustible material.

7. ELECTRIC CABLE SHAFT AND ELECTRIC METER ROOM:-

- Electric cables shall not pass through the staircase walls or shall be taken in concealed i) manner.
- ii) Inspection door for the shaft shall have two hours fire resistance.
- iii) Electrical shafts shall be sealed at each floor level with non-combustible material such as vermiculate concrete.
- iv) Electric meter room / panel provided at ground floor level at location marked on the plan. It shall be adequately ventilated.
- v) Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire building with provision of ELCB / MCB.
- vi) Electric shaft shall be painted with fire retardant intumescent paint. it. The second se

8. ESCAPE ROUTE FROM FLAT TO STAIRCASE :- (Corridor/Lift Lobby)

Corridor / lift lobby at each floor level shall be ventilated to outside air, as shown on the plan. The ventilation to lift lobby shall not blocked, covered or obstructed at any time.

9. CORRIDOR / LIFT LOBBY :-

- i) Corridor / lift lobby at each floor level shall be naturally ventilated / pressurized.
- ii) The common corridor / lift lobby at each floor level shall be kept free from obstructions at all times.
- iii) Proper signages for way to staircase, escape routes, staircase, floor nos. etc. shall be provided at each floor of building.
- iv) Portable lights / insta lights shall be provided at strategic locations in the staircase and lift lobby

10. STAIRCASE AND CORRIDOR LIGHTINGS:

- i) The staircase and corridor lighting shall be on separate circuits and shall be independently connected so that they could be operated by one switch installation on the ground floor easily accessible to fire fighting staff at any time irrespective of the position of the individual control of the light points, if any.
- ii) Staircase and corridor lighting shall also be connected to alternate supply.
- iii) Double throw switches should be installed to ensure that lighting in the staircase and the corridor do not get connected to two sources of supply simultaneously. A double throw switch shall be installed in the service room to terminate the stand-by-supply.
- iv) Emergency lights shall be provided in the staircases/corridors.

11. FLAT ENTRANCE, KITCHEN DOORS & EXIT / ENTRANCE STAIRCASE:-

i) Flat entrance and kitchen doors if any shall be of solid core having fire resistance of not the set of the

FIRE as per N.B.C. provisions.

BRIGADE

12. ELECTRIC CABLE SHAFT AND ELECTRIC METER ROOM :-

i) Electric cable shafts shall be exclusively used for electric cables and should not open in staircase enclosure.

- ii) Inspection doors for shafts shall have two hours fire resistance.
- iii) Electric shafts shall be sealed at each floor level with non combustible materials such as vermiculite concrete. No storage of any kind shall be done in electric shaft.
- iv) Electric wiring/ cable shall be non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
- v) Electric meter room shall be provided at ground floor level. It shall be adequately ventilated & easily accessible.
- vi) Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire bldg., with the provision of ELCB/MCB. Low and medium voltage wiring running in shaft and in false ceiling should run in separate conduits.
- vii) Water mains, telephone lines, intercom lines, gas pipes or any other service line should not be laid in the duct for electrical cables; use of bus bar/solid rising mains instead of cables is preferred.
- viii)Separate circuits for fire fighting pumps, lifts, staircases and corridor lighting and blowers for pressurizing system shall be provided directly from the main switch gear panel and these circuits shall be laid in separate conduit pipes, so that fuse in one circuit will not affect the others. Such circuits shall be protected at origin by an automatic circuit breaker with its no-volt coil removed.
- ix) Master switches controlling essential service circuits shall be clearly labelled.

13. ESCAPE ROUTE FROM FLAT TO STAIRCASE :- (Corridor/Lift Lobby)

Corridor / lift lobby at each floor level shall be ventilated to outside air, as shown on the plan. The ventilation to lift lobby shall not blocked, covered or obstructed at any time.

14. FALSE CEILING (if provided):

False ceiling if provided in the building shall be of non combustible material. Similarly, the suspenders of the false ceiling shall be of no combustible materials.

15. MATERIALS FOR INTERIOR DECORATION/FURNISHING

The use of materials which are combustible in nature and may spread toxic fume / gases should not be used for interior decoration/furnishing, etc.

16. FIRE LIFT AND OTHER LIFTS :-

- i) Walls enclosing lift shaft shall have a fire resistance of not less than two hours.
- ii) Shafts shall have permanent vent of not less than 0.2 sq. mtrs in clear area immediately under the machine room.
- iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv) One lift in wing A, one lift in each lift bank in wing B as well as wing C shall be converted into fire lift and shall be as per specifications laid down under the regulations.
- v) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency and the directly accessible to each floor.
- vi) The lift shall have a floor area of not less than 1.4 sq. mtrs. with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545 k.g. (8persons lift) with automatic closing doors.
- vii) There shall be an alternate electric supply of an adequate capacity apart from the electric supply the building and the cables run in a route safe from fire, i.e. within the lift shaft. In case of failure normal electric supply, it shall automatically trip over to alternate supply.
- viii) The operation of fire lift should be by a simple toggle or two button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
 - The words 'Fire lift' shall be conspicuously displayed in florescent paint on the lift landing door at each floor level.

17. SMOKE MANAGEMENT SYSTEM:-

- i) Éscape routes like staircase, common corridor, lift lobbies, etc. shall not be used as return air passages.
- ii) Direct expansion system shall not be used.
- iii) The ducting shall be constructed of substantial gauge/metal in accordance with IS: 655:1963 metal air duct(devised).
- iv) Wherever the ducts pass through fire walls or floors, the opening around the ducts shall be sealed with fire resisting material such as vermiculite concrete or glass wool. A.C. ducting shall not pass through staircase wall.
- As far as possible metallic ducts shall be used even for return air instead of space above false ceiling.
- vi) The material used for insulating the ducts (inside or outside) shall be of non combustible type such as glass wool or spun glass with neoprene facing etc.
- vii) A.H.Us shall be provided of adequate size and shall be separate for each floor and air ducts for each floor/each theatre shall be separate and in no way inter connected with the ducting of any other floor.
- viii) Automatic fire dampers shall be provided at the inlet of fresh air duct and the return air duct of each compartment on every floor. They shall be so arranged as to close by gravity in the direction of air movement and to remain tightly closed upon operation of a smoke detector.
- ix) Air filters of A.H.Us shall be of non combustible material.
- x) A.H.U.room shall not be used for storage of any combustible material and shall be provided with half an hour fire resistance door.

18. ESCAPE ROUTE LIGHTING :-

Escape route lighting (staircase and corridor lights) shall be on independent circuits as per rules.

19. FLATS ENTRANCE AND KITCHEN DOORS :-

Flat entrance and kitchen doors shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness).

<u>RQUIREMENT & PROVISIONS:-</u> The Following active fire protection system will be required to the safety of the buildings (Residential Cum Commercial Building) :-

SL	FIRE FIGHTING INSTALLATION	REQUIREMENTS	PROVISION	REMARKS
1	PORTABLE FIRE EXTINGUISHER	Required at all Basement, Electric meter Room, Lift Machine Room, Every Floor & Prominent places of building	IS: 2190 & IS: 15683	 a. Two Dry Chemical Powder (A.B.C.) type fire extinguisher of 6 kgs. Capacity having I.S.I. certification mark and two buckets filled with dry, clean sand shall be kept in Electric meter Room as well as Lift Machine room. b. Dry Chemical Powder (A.B.C.) type fire extinguishers of 6 Kgs. Capacity having I.S.I. certification mark shall be kept at ground floor. c. One dry chemical powder type fire extinguishers of 5 kgs. Capacity having I.S certification mark shall be kept on each floor level.
2	HOSE REEL HOSE	shall be connecte	ed directly to rise	ng for fire fighting. Hose reel rs/ down comer main and be less than 19mm with IS
3	HOSE BOX	15mtrs Flax RRL h		e & female coupling of 63mm arate hose box on alternate
4	UNDERGROUND WATER STORAGE TANK	Required 200000 liters capacity.	200000 liters ca location marked of specified in the r	water storage tanks each of pacity shall be provided at on the plan, as per the design ules with baffle wall and fire g breaching. Both the tanks ected
5	OVERHEAD WATER STORAGE TANK	Required 25000 liters capacity	Tank of 25000 lite at the terrace le shall be got appro- prior to erection. to the wet riser	ers capacity shall be provided evel. The design and layout oved from H.E."s department The tank shall be connected r through a booster pump urn valve and gate valve.
6	WET RISER	Required in all staircase	Wet riser of intern Class pipe shal adjoining the sta outlet & hose ree as not to reduce corridor. Pressur shall be provided exceed the pressur fire service inlet building near the courtyards shall mobile pump of riser. Fire service refilled U.G. tan passing the fire system. The wet	hal dia. of 15 cms. of G.I. 'C' I be provided in the duct aircase with double hydrant I at each floor in such a way the width of the common e reducing discs or orifices I at lower level, so as not to ure of 5.5 kgs. per sq. cms. A on the external face of the the tank directly fronting the be provide to connect the the fire service to the wet e inlet shall be provided to k, to feed riser system by pump & to feed sprinkler risers shall be extended from topmost floor/terrace level.

SL	FIRE FIGHTING	REQUIREMENTS	PROVISION	REMARKS
7	AUTOMATIC SPRINKLER SYSTEM	Required at each habitable room, all Basement, podium parking floors and lift lobby and common corridor at each floor level & Prominent places of building	standard laid down by T.A.C. and relevant I.S. specifications.	Automatic sprinkler system shall be provided in entire building including each habitable room, all Basement podium car parking areas and lift lobby and common corridor at each floor level. The automatic sprinkler system shall be installed as per the standard laid down by T.A.C. and relevant I.S. specifications.
8 SALANTON	FIRE PUMP, BOOSTER PUMP, SPRINKLER PUMP AND JOCKEY PUMP	 2850 litres / minkgs / sq.cms. at a suitable size. ii) Booster pump of of not less than wet riser-cum-do of the building. iii) An independent jockey pump shaliv) Control panel / floor. v) Electric supply (for circuit. vi) One stand by puvii) Installation of n pump shall not b viii)Fire pumps shall not b 	capacity giving a p the topmost hydrar f capacity of 900 lit 3.2 kgs. / sq.cms. own comer shall be sprinkler pump of all be provided for an operating switches normal) to these put imp of same capacit legative section arr be allowed. all be provided w	fire pump at ground level of pressure of not less than 3.2 at along with jockey pump of ers / min. having a pressure at the hydrant outlets of the provided at the terrace level suitable capacity along with utomatic sprinkler system. shall be located on ground mps shall be on independent
g	EXTERNAL HYDRANTS	of the wet riser-cu	shall be provided v	vithin the confines of the site the location marked on the
10	ALTERNATE SOURCE OF POWER SUPPLY	or through D.G. se provided for fire	et with appropriate pumps, booster pu	ply from separate substation change over switch shall be ump, staircase and corridor system. It shall be housed in
11	FIRE ALARM SYSTEM	The building shall main control panel	at ground floor leve r level. The layout	anual fire alarm system with el and pill-boxes and hooters of fire alarm system shall be
12	AUTOMATIC SMOKE DETCETION SYSTEM	Required in all Basement, Electric meter room, common corridor at each floor level & lift machine room & prominent places of Building	Automatic smoke console panel at provided in Elec corridor at each fle as per the standa relevant I.S. specif	
13	RATE OF RISE DETECTORS	Rate of rise detector pantry, etc. and san floor level.	me shall be connect	d in the hot areas i.e. kitchen, ted to main console at ground
14 15	SIGNAGE'S SIAMESE	showing the means	s of escape for the e	green color shall be provided ntire building. be provided at entrance gate
16	CONNECTION PUBLIC ADDRESS SYSTEM	of building. The entire building	shall be provided	with public address system level and it shall have battery

Fire Under Ground water storage tank (UG) / Overhead (Terrace) water storage tanks should exclusively for fire fighting application. The tank liquid volume is as per capacities mentioned in provisional NOC from this department excluding Free Board (FB) of tanks. Proper space should be provided for the fire duct& a provision of working platform (working platform is most important for fire system maintenance) within is must. The pump room with positive suction is important norm from NBC 2016 part 4 Life & Safety & should be strictly adhered with.

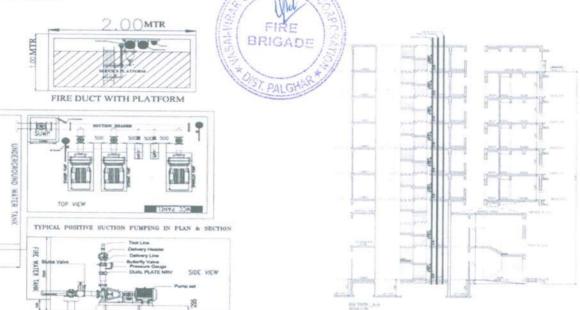
In case of a high-rise building having 2 enclosed type staircases, the position of staircase shall be planned as such that both staircases are positioned in opposite site to each other and should be connected by passage of minimum width of 1.50mtr.

This department issues the provisional NOC at the beginning of the new site work. The Developers / Owners / Occupiers should take the good care of the possible provisions mentioned in provisional fire NOC. The Developers / Owners / Occupiers should contact of fire license agencies operating in this area or else should search on Maharashtra Fire Services (MFS) web site www.mahafireservices.gov.in to interpret the provisional fire NOCs as far as civil and other provisions are concerned.

Developers / Owners / Occupiers should abide the Maharashtra Fire Prevention & Life safety Measures Act 2006 especially regarding the compliance of the fire prevention and life safety measures in form "A" or maintenance thereof in good repair & efficient condition in form "B" on January & July of every year.

All the affidavits, Undertaking, Declaration submitted for Final NOC/ Renewal NOC shall be made on Rs. 500/- stamp paper, and shall have a Notary before me stamp along with serial number and date.

For reference & necessary action, typical diagrams for Fire Duct, Positive suction pump room are enclosed.



20. REFUGE AREA:-

- i) The layout of the refuge area shall not be changed / modified at any time in future.
- ii) Refuge area shall be provided with railing / parapet of 1.10 meters height on external sides and shall be of sound construction.
- iii) Refuge area shall be segregated by brick masonry partition wall of 9" thickness or concrete block wall of 6" thickness and access to refuge area shall be gained through half an hour fire resistance self closing door.
- iv) There shall not be any opening in to the refuge area from any portion of the occupied premises.
- v) Refuge area shall be earmarked exclusively used for the use of occupants as temporary shelter and for the use of Fire Brigade department or any other organization dealing with fire or other emergencies when they occur in the building and also for exercises / drills, if conducted by the Fire Brigade department.
- vi) Refuge area shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner / occupier to maintain the same clean and free of the encumbrances and encroachments, at all times.
- vii) Entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning " **REFUGE AREA IN CASE OF EMERGENCY**".
- viii)Adequate drinking water facilities shall be provided in the refuge area.
- ix) Adequate emergency lighting facility connected to electric circuits of staircase / corridors lighting shall be provided in the refuge area.

Terrace shall be treated as refuge area and shall be provided as under:-

- i) The entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning " REFUGE AREA IN CASE OF EMERGENCY ".
- ii) Adequate drinking water facility shall be provided in the refuge area.
- iii) Adequate emergency lighting facility connected to the electric circuit to the staircase, corridor / passage etc. lighting shall be provided.

21. LIGHTENING ARRESTOR :-

Each structure should have lightening arrestor system carried out by licensing electrical contractor authorized by Maharashtra State PWD- Electrical cell.

22. TREE CUTTING:- (IF ANY)

Trees falling before entrance gates and Refuge areas trees falling within the compulsory open space / courtyard if any shall be either transplanted or to be cut as may be found feasible by the Supdt. of Garden.

The other provisions of D.C. Rules of V.V.C.M.C & N.B.C part IV, 2016 should be strictly followed.

The Chief Fire Officer reserves rights to amend any additional recommendations deemed fit during the final inspection due to the statutory provisions amended from time to time and the interest of the protection of structure.

The party has paid Capitation & scrutiny Fees of Rs.21,00,000/- vide Receipt No.30696, Book No. 307, DD. No. 099899, (Vasai Vikas Sahakari Bank), Dated:21/04/2022 & Rs.24,200/- vide Receipt No.30696, Book No.307, DD.No.099897 (Vasai Vikas Sahakari Bank), Dated:21/04/2022.

However, D.D.T.P. is requested to verify the total built up area and inform this Department for the purpose of levying additional Capitation fee.

Before starting work of Fix Fire Fighting Installation such plan should approved from under signed authority.



CHIEF FIRE OFFICER VASAI VIRAR CITY MUNCIPAL CORPORATION

Copy to Architect- 1) M/s-En Con Project Consultants Developer 2) M/s- Shree Varad Builders & Developers LLP

Note: - As per the fire Prevention and Life Safety Measures Act the fire fighting Installation work has to be carried out by licensing fire contractor authorized by Director of Maharashtra fire services only. The list of the License Agencies is available on www.maharashtrafireservice.org or www.mfsindia.org.



G-7, 8, 'D' Wing, Sethi Palace, Ambadi Road, Vasai Road (W), Dist. Palghar - 401 202. Tel. : 0250-2336318 / 2333404 E-mail : encon4@gmail.com encon1@rediffmail.com

Ref.No.1898 & 1892A/VP-5819 & 5806/24

Date: 05-12-2022

To, The Member Secretary (SEIAA), 217, Annex Building Manatralaya Mumbai -400032.

Subject : Architect Certificate for proposed Residential with shopline Project on plot bearing 5.No. 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 of Vill-Chulne, Vasai (W), Palghar

Sir,

We, M/s. En-Con, Architect certify that M/s Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises has obtained building permission on plot area admeasuring 7190.00. sq mts for total proposed construction area 8207.30 sq mts including Non FSI area 5517.52 sq mts as per old DCR.

However, in respect to plot potential: permissible construction area was 18050.61 sq mts including FSI area 9279.26 sq mts (FSI: 1.0 + 1.40 TDR). Hence, the potential of plot with respect to permissible FSI was less than 20,000 sq mts prior to applicability UDCPR.

Now, the potential of plot area 8073.00 sq.mt for permissible built up area is exceeding from 20,000 sq mts as per new UDCPR 2020. Hence Proposed construction area increasing from 18508.61 sq mts to 28720.66 sq.mt and now PP approach to obtain environmental clearance.

We inform you that we had initiated excavation of building as per approved plans: However, we have stopped the construction activity at site.

Contd...page 2



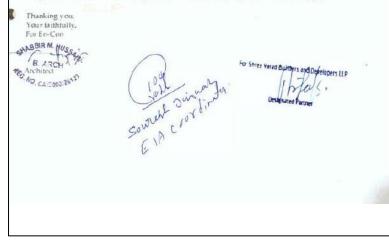
G-7. 8. D Wing, Sethi Palace, Ambadi Road, Vasai Road (W), Dist, Palghar - 401 202. Tel. 0250-2316318 / 2333404 E-mail encon-Birgmailcom encon/Birgmailcom

Foge 2 Ref. No.1898 & 1892A/VP-5819 & 5806/24

The break of PSI and Non PSI as per Vasai Virar City Municipal Corporation vide order no VVCNIC/TP/CC/VP-5806 & 5810/129/2020-21 dated 10-12-2020 as follows

	Particular	A STATE OF LOCAL OF
Ι.	Plot Area	Ant in sq.m
2.	Net Plot Area	719(1(3)
3,	Plot Area for FSI Calculation	4124.12
4.	Permissible FSI Area including TDR	.3505.50
5.	Total Permissible construction area	0270.25
6.	Proposed FSI Area	18050.61
7.	Proposed Non PSI Area	2589,78
8.	Proposed Construction area (7+8)	8207.32

We hereby certify that construction and carried on the ground by the developer is nil sq nit till date of SELAA hearing and in accordance with the sanction from Vasai Virar City. Municipal Corporation vide order no VVCMC/TP/CC/VP/5806.6; 5819/129/2020;21 dated 10-12;2020.



SOLAR PANEL DETALS

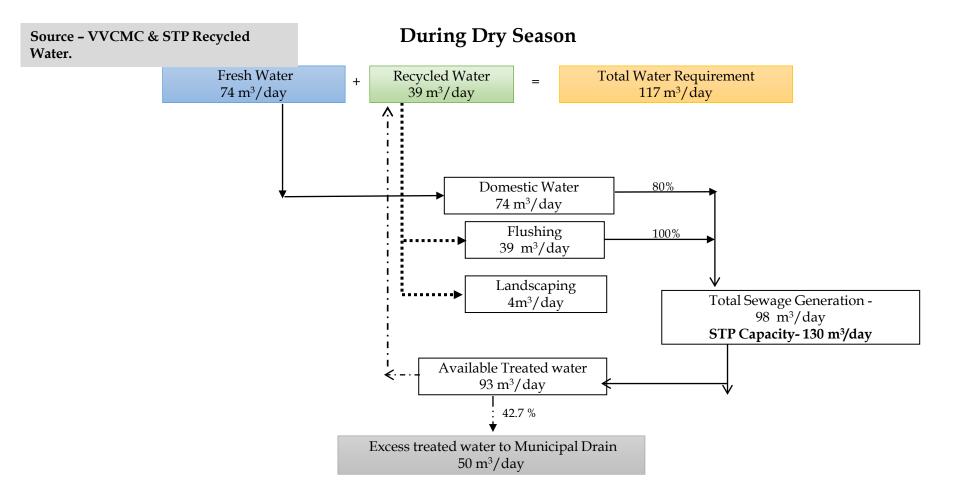
Maximum Demand	1118	KW
Total Terrace Area	750	Sq.m
Area available for pv system	550	Sq.m
Details SPV Panel for lighting		
Area for SPV panel sq.meter (0.330 KW)	2	Sq.m
No. of solar pv panels provided	170	No's
Total Electricity generated	56.1	KW
Terrace Area Required For SPV panel	545	Sq.m
Energy Saving by SPV Panels in %	5.01	%
Total energy saving by non conventional method	18.51	%



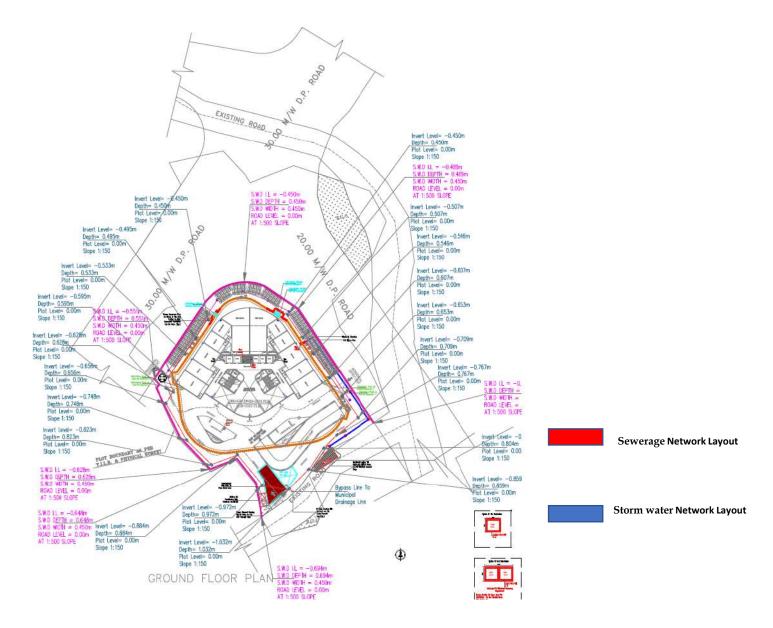
WATER REGIME

Sr. No.	Particulars	TOTAL
1.	Total population (Nos.)	844
2.	Domestic water (KLD)	74
3.	Flushing water (KLD)	39
4.	Landscape water (KLD)	4
5.	Total water demand (KLD)	117
6.	Total sewage generation (KLD)	98
7.	Total capacity of STP (KLD)	130
8.	Total Water available after Treatment (KLD)	93
9.	Total Excess treated Water	50

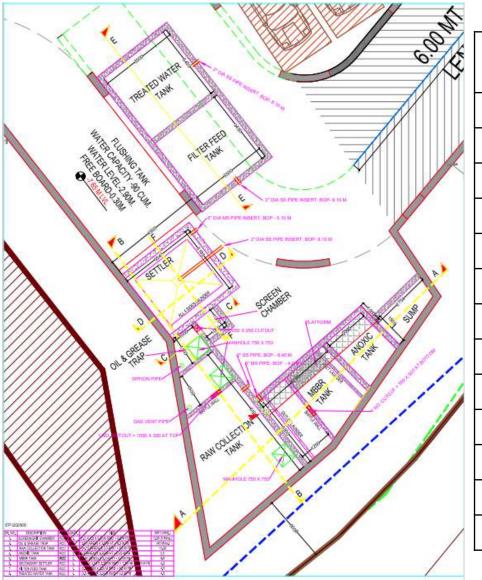
WATER BALANCE CHART



SEWERAGE NETWORK LAYOUT



STP LAYOUT

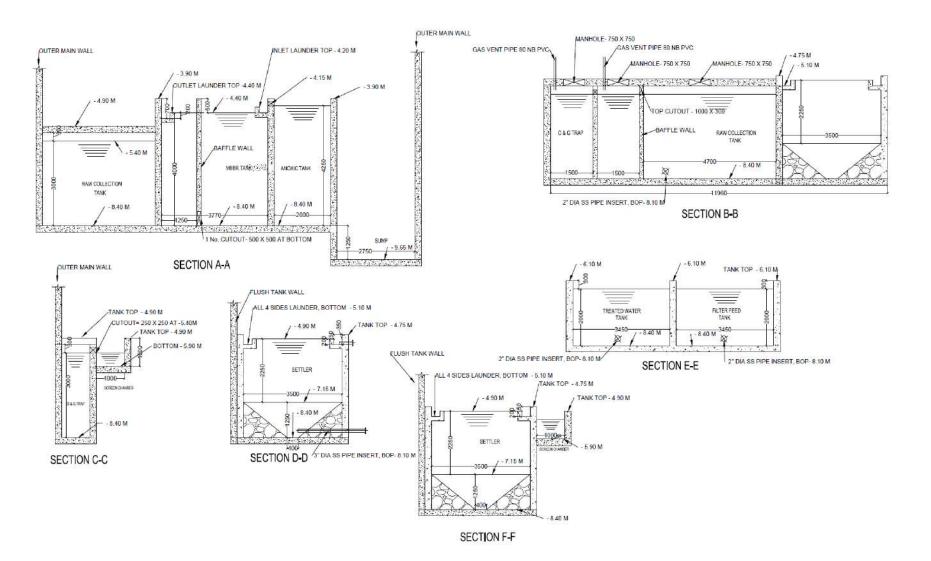


CHARACTERISTICS OF TREATED WATER

Parameter	Unit	Final outlet of STP
рН	-	7.0 - 8.5
Turbidity	NTU	< 2
Oil and Grease	mg/L	< 10
Suspended Solids	mg/L	< 10
COD	mg/L	< 30
BOD	mg/L	< 10
Ammonia (as NH3)	mg/L	< 01
Phosphates (as P),	mg/L	< 01
Nitrate	mg/L	< 01
Iron (as Fe)	mg/L	< 01
Fluoride (as F)	mg/L	< 01
Residual chlorine	mg/L	< 01
Faecal Coliform		<1 FC/100 ml

STP SECTION

SECTION 130 KLD STP



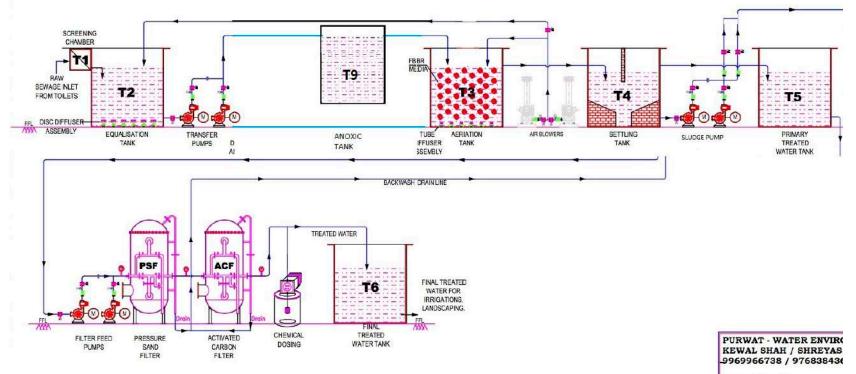
STP UNIT DIMENSION

LEGENDS:

SR. NO.	DESCRIPTION	MOC	QNTY.	SIZE
1.	SCREEN/GRIT CHAMBER	RCC	1.	(1.0 X 1.0 X 0.5) M SWD + 0.5 M FB
2.	OIL & GREASE TRAP	RCC	1.	1.91 (AREA) X 3.0 M HT + 0.3 M FB
3.	RAW COLLECTION TANK	RCC	1.	24.15 (AREA) X 3.0 M HT + 0.3 M FB
4.	ANOXIC TANK	RCC	1.	5.0 (AREA) X 4.25 M HT + 0.25 M FB
5.	MBBR TANK	RCC	1.	12.87 (AREA) X 4.0 M HT + 0.3 M FB
6.	SECONDARY SETTLER	RCC	1.	(3.54 X 3.18 X 2.25) M SWD + 1.25 HB + 0.15 M FB
7.	FILTER FEED TANK	RCC	1.	(3.5 X 3.45 X 2.0) M SWD + 0.3 M FB
8.	TREATED WATER TANK	RCC	1.	(3.5 X 3.45 X 2.0) M SWD + 0.3 M FB

STP PROCESS & SCHEMATIC DIAGRAM

SCHEMATIC DRAWING OF SEWAGE TREATMENT PLANT



FOR SERVICE : CALL - 7738574976 E - mail : water treatment8

LANDSCAPE PLAN



LANDSCAPE DETAILS

Description of Area	Details			
Net Plot Area	3754.12		REQUIRED	PROVIDED
RG Required	Nil	NOS.	AREA SQMT	AREA SQMT
R.G Provided	381.68 sq,mt	R.G1		27.95
Tree in Miyawaki	50	R.G2		24.68
Trees proposed	105			
Total Nos. of Trees	1500	R.G3		329.05
Existing Tree	Nil	TOTAL		381.68
Are under Miyawaki	24.68 Sq.m			

Miyawaki Plantation

S. No.	Scientific Name	Common Name	Height	Layer	Number
1.	Eranthe mumrosium	Aboli	0.5-1 m	Shrub	4
2.	Bauhinia tomentosa	Pivala Kanchan	1.5-2m	Shrub	4
3.	Eranthemum nigrum	Black Kodia	0.5 to 1 m	Shrub	4
4.	Nerium oliander	Kanher	0.5-1 m	Shrub	3
5.	Platycladus orientalis	Morpankhi	1 to 2 m	Shrub	3
6.	Butea monosperma	Palash - flame of forest	5.00 m	Sub Tree	4
7.	Terminalia catappa	Badam	3.00 m	Sub Tree	3
8.	Crataevea adensonii	Varun	6.00 m	Sub Tree	3
9.	Bauhihia purpuria	Kanchan	8 m	Tree	3
10.	Saraca indica	Sita Ashok	6-8 m	Tree	3
11.	Cassia fistula	Bahava	8 m	Tree	3
12.	Nyctanthes arbortristis	Parijat	10 m	Tree	3
13.	Albizia lebbeck	Shirish	12 m	Tree	3
14.	Michelia champaca	Sonchafa	8 m	Tree	3
15.	Azadirachta indica	Neem	15-20 m	Canopy	2
16.	Lagerstroemia speciosa	Tamhan- pride of india	30 m	Canopy	2
	50				

Planation at R.G/ Periphery

Sr. No	Name of the plant	Common Name	No
1	Azadirachta indica	Neem Tree	10
2	Michelia champaca	Son chafa	10
3	Mimusops elengi	Bakul	10
4	Cassia fistula	Bahava	10
5	Saraca asoka	Sita Ashok	10
6	Embica officinalis	Awla	05
7	Butea monosperma	Palash	08
8	Moringa orifera	Drum sticks	02
9	Largerstomia speciosa	Jarul	10
10	Psidium guajava	Peru	05
11	Aegle marmelos	Bel	05
12	Manilkara zapota	Chickoo	10
13	Bauhinia purpurea	Kanchan	05
14	Pongamia Pinnata	Karanj	05
15	Total		105

	OPERATI	ON PHASE	
Sr. No.	Pollution Control & Other Environment Infrastructure	Capital Cost In Rs. Lakhs	Annual O & M Cost In Rs. Lakhs/annum
	During Operation Phase:		
1	Rain Water Harvesting	4.00	0.50
2	Sewage Treatment Plant	40.00	4.0
3	Low fixture Device	6.00	0.50
4	Organic Waste Composting	8.50	3.50
5	Landscape	1.50	0.6
6	Energy saving	30.0	2.50
7	Passage and lift lighting	3.0	0.25
8	Basement ventilation	8.0	1.25
9	EMP Cost	101.0	12.60
10	DMP	80.0	4.0
	Total	181.0	16.60

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CORRIGENDUM

Please refer to public notice published in this newspaper on 11.03.2023 on page no.20 in respect of Shri Rajat Narindar Bedi in this notice Signature Name & Address wrongly mentioned. Please read Signature Name and address as M/s.A.N.S. Legal Services Advocates, D-10, Parte Colony, Sahakar Marg, Vile Parte (East), Mumbai 400 057.

Other Details remains the same.

SOUTHERN RAILWAY

No. OT-96235064

Divisional Material Manager, Madurai Division, Southern Railway for and on behalf of The President of India Invites E-Tender for the following supply as per detailed tender notice given in our e-tender portal www.ireps.gov.in. The tenderer(s) intending to apply need to get enrolled in the e-tender portal www.ireps.gov.in and only online tenders will be accepted. All relevant credentials and supporting documents are to be uploaded along with the offer.

S.No. : 1, Tender No. : OT-96235064 Dt. 01.03.2023, Name of the work: Supply of 18 No's - 110 kV Single phase, Three winding, Oil filled, outdoor type Potential transformer ratings of (110 kV/v3/110 V/v3/110V/110V/v3), Closing date and time : 28.03.2023 at 14.30 https: Senior Divisional Electrical

Engineer / TRD / Madural

Follow us on Stwitter com/GMSRailway

(A Government of India Undertaking)

NOTICE INVITING TENDER

Chief Commercial Manager, Konkan Railway Corporation Limited, Invites for two tenders through IREPS e-tendering system, from interested parties at Madgaon Railway Station over Konkan Railway", as per following schedule:

Sr. No.: 1. Tender Notification No CO-16-12-2016-COMM : Award of contract for "Renovation, Operation and Management of Executive

CORRIGENDUM

This has reference to the Court Notice Ad published on 09/03/2023 in Free Press Journal on page no.2 and Navshakti on page no.16 by Asstt. Superintendent, Civil Court, J. D. Bhiwandi for the SPECIAL DARKHAST No.58/2022 in SPECIAL CIVIL SUIT No.285/2020 Exh. No.08 the name of 2nd Decree Holder was wrongly published as Mast. Atharv Abhijeet Joshi. The correct name shall read as Mast. Atharv Anagha Joshi. This is for information of all concerned.

Marine Marine Starley

PUBLIC NOTICE

We, M/s. Shree Varad Builders AND Developers LLP, hereby bring to the kind notice of general Public that Environment Department, Government of Maharashtra has been accorded in Environmental Clearance for proposed Residential with Shop line project at Old Survey no. Project at S.No. 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 Village:- Chulne, Tal:- Vasai (W), Palghar, vide letter dated 28th February 2023 bearing file No. SIA/MH/ MIS/260153/2022, EC Identification No. EC23B038MH146038. The copies of the clearance letter are available with Maharashtra Pollution Control Board and may also be seen on the Website of the Department of Environment, Government of Maharashtra at http://parivesh.nic.in/. M/s. Shree Varad Builders AND Developers LLP. Shree Mahalaxmi Enterprises.

PUBLIC NOTICE Notice is hereby given that Mr Habiball

Alarakha Khunt, member of M.K.Heights coop, Hsg.Soc Ltd Reg.no.2/WL/HSG/(TC)/ 9504/2006-2007, having address at opp.L-Ward cst Road Kurla (w) Mumbai-70 holding Flat no. 610-8-wing died on 06-06-2022 and his son, Nasimusein Habibali Kisan , has applied for 100% share/membership of the society against the said flat That as per Byelaws of the society hereby invites claims or objections from the heir or heirs or other claimant or claimants/objectors to the transfer of the said shares and intrest of the decased member in the capital property of the society within a period of 15 days from the publication of this notice with copies of such documents d other proofs in support of his/her/their/ clams/objections for transfer of share and intreat of the deceased member in the capital property of the society. If no claims/objections are recieved within the period of prescribed above, the society shall be free to deal with the shares and intrest of the deceased member in the capital property of the society in such manner as is provided under the Bye -Laws of the society. Objectors shall give their written objections and contact secretary/ chairman of the society or the undersigned from the date of publication of the notice till the date of expiry of its period

For and on behalf of M.K. Heights co-op. Hsg.Soc Ltd Sd/-

Hon Secretary

PUBLIC NOTICE

otice is hereby given that my clients Mr. S R Dalvi & others are negotiating to purchase the property belonging to (1) Mr. Rakesh Chandrakumar Jain & (2) Mrs. Nikisha Rakesh Jain which is more particularly described in the schedule hereunder written. Any person/entity having any claim to or against the said property or any part thereof by way of lease, sub-lease, tenancy, license, sale, exchange, arrangement, mortgage, gift, trust, inheritance, bequest, possession, lien, charge, maintenance, easement, development agreement, joint-venture, partnership, etc., and any person in possession of the original title deeds or otherwise, howsoever is hereby required to make the same known in writing with the documentary proof thereof to the undersigned at B-404, B Wing, Jai Hanuman

THE FREE PRESS JOURNAL WWW

PUBLIC NOTICE

NOTICE is hereby given on behalt of my during that I am investigating the title of MR. MILAN CHAMPALAL JAIN & MR. MILAN CHAMPALAL JAIN & MR. AMIT SHANTILAL JAIN to the MR. AMIT SHANTILAL JAIN to the MR. AMIT SHANTILAL JAIN Flat No. 903 admeasuring 552 sq.fts Compet area and (B) Flat No. 904 admeasuring 518 sq.fts. carpet area both on the 9th floor of building known as The Island' situated at Mumba Navrang Marg. Gamdevi, bearing CS. No. 1672 of Girgaon

All persons having any claim in respect of the above referred premises whether by way of sale, exchange, mortgage, charge, gift, trust, . muniment. inheritance, possession, lagse, lien or otherwise howscever are hereby requested to make the same known in writing to the undersided hereof at 2nd Floor, Mantri Building, Opp : Girgaon Church, Gingon, Mumbai-400 004 within 15 days of this notice, failing which, all such claim of such person/s, if any, will be deemed to have waived and/or abandoned. Dated this 14h day of March, 2023

Mukesh Jain Advocate

PUBLIC NOTICE

Notice is hereby given that Late Naresh Kachala owner of Flat No. B-104, Gurimanak Apartment Co-op. Hsg., Soc., Ltd., Shankar Lane, Kandivali (West), Mumbai 400 067 expired on 24/08/22. On behalf of my client, Mrs. Nikita Mitul Bhayani daughter of deceased, the undersigned advocate hereby invites claims fram other heir/s or claknant/s or objector/s for the transfer of the shares and interest of the deceased member in the said flat within a period of 14 days from the publication of this notice, with copies of proofs to support the claim. If no claims are received within the period prescribed above, my clients shall be at the liberty to deal with the shares and interest of the deceased member in the manner they deem fit.

on behalf of my client Mrs. Khatija Gu Mohammed Mansuri And Gulam Moahm brahim Mansuri, Vendor of property b Flat No .1001 admeasuring 225. 18 Sc Carpet area on the 10TH Floor in build known as Sana Co-op. Hsg. Society situated at 71, Huzaria Street, Nag Mumbai- 400 008 in the Byculla Divisi Ward in the Registration District and District of Mumbai City bearing Cad Survey No. 1189 and 1190 of Byculla D in the registration District of Mumbai Ci Said Property is sold to Mrs. Khu Mohammed Baharuddin Shaikh Agreement for Sale dated 01/03/2023 registration no. BBJ-1-1650 My client have informed me that Agreement for Sale dated 05/06/200 between M/s. Rubberwala Hou Infrastructure Ltd. (formerly known Rubberwala Developers Private Li the Developers of the one part Sakina Huseini Sakarwala as the P of the other part, duly stamped and i (Registration No. BBE-1-3785-20 05/06/2009)

PUBLIC NOTICE

Any person having any claims of respect of the said premises to inheritance, share, sale, license, gift charge, possession, lease, assign ownership, transfer, access, encumbrances howsoever or othe or having possession of the documents and/is hereby request the same known in writing to the within 14 (Fourteen) days from publication of this notice of his/he of claim; if any, with all supporting failing which, it will be assumed to no claims or issues in respect premises.

Ko

Advocate (Flat No. 201, 2nd floor, Heave Jahnvi Nursing Home P Pakhadi Road, Malad West, Mur

PUBLIC NOT

Shri Vallibhai L. Vassa (Dece original member of Co-operative Housing Limited, having address at Building No. 6, Dr. D. Bl Marg, Mumbai 400 008. H No. 23 in Building No. 15 of t holding Share Certificate bearing nos. 6116 to 6 inclusive) in the year 1969. Shri Valjibhai L. Vassa with nomination Co-operative Housing Soci 22/05/1984 vide LR/340 in Smt. Taragauri V. Vassa Harish V. Vassa (son).

Lounge. Sale of Tender forms: From 14.03.2023 to 03.04.2023. Last date of submission of tenders: On 03.04.2023 upto 17:00 hrs. Opening of tenders: On 03.04.2023 at 17:30 hrs.

Sr. No.: 2. Tender Notification No.CO-16031-22-2022-COMM : Award of contract for "Setting-up, Operations and Management of Box Hotel with temporary structure. Sale of Tender forms: From 14.03.2023 to 17.04.2023. Last date of submission of tenders: On 17.04.2023 upto 17:00 hrs. Opening of tenders: On 17.04.2023 at 17:30 hrs.

For more details, please visit www.ireps.gov.in.

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PUBLIC HEALTH DEPARTMENT MUMBAI DISTRICT TUBERCULOSIS CONTROL SOCIETY

e-TENDER NOTICE

NO.MDTCS/2628/TB, Date 13/03/2023 MUMBAI DISTRICT TUBERCULOSIS CONTROL SOCIETY of Brihanmumbai Municipal Corporation, Public Health Department invites e-tender for Hiring of Non-AC Cars under National Tuberculosis Eradication Programme. The tender submission would be online and the deadline to submit the extender is 28/03/2020. For deadline to submit the extender is 28/03 Nagar, Opp. Kamgar Stadium, Senapati Bapat Marg, Mumbai – 400028 within 14 days from the date hereof otherwise the negotiations will be concluded and sale, transfer and/or assignment of the said property shall be completed without any reference to such claim or interest and the same, if any, shall be deemed to have been waived to all intents and purpose.

THE DESCRIPTION OF THE PROPERTY: Flat No. A-3402, admeasuring about 1611 Sq. Ft. Carpet area on 34th Floor of A Wing in the Building known as World View in the Project The World Tower', situated at Senapati Bapat Marg, Lower Parel, Mumbai - 400013, along with Two Car Parking Spaces No. P5476 & P11147, constructed on land bearing Cadastral Survey No. 443, 444, 445 & 446 in Lower Parel Division in District Mumbai City.

Advocate Tejas Kirti Doshi 022-24365577 Place: Mumbai, Date: 14th-March-2023

PUBLIC NOTICE

Notice is hereby given that Mr. Shane Rebello, Miss Juroska Rochester Rocha and Late Mrs. Joan Rocha was owner of Flat i.e. Flat No. 335, A Wing, 3rd Floor, area admeasuring 350 sq.ft. (Built up) in the building known as Rashmi in Jeevan Vikas CHSL, Survey no. 95. Hissa No. (Part), Vill. : Tulioj, Nallasopara (E), Tal. Vasai, Dist Palghar-401 209 thereafter Mrs. Palghar-401 209 Interdation Joan Rocha has died on 28.07 2015 and her husband Mr. Rochester Daugras Rocha nas died on 07.05.2019 leaving behind Miss Juroska Rochester Rocha is the sole legal heir of deceased Mrs. Joan Rocha and Mr. Rochester Douglas Rocha. The undersigned advocate hereby invites claims or objections from other heir/s, claimant/s or objector/s for the transfer of the shares and

Adv. Foram Shah 710, Arun Chambers, Tardeo Road, Mumbai-400 034

Place : Mumbai Date : 14/03/23

PUBLIC NOTICE Notice is hereby given that clients Hanif Usman My cherner of H & V. Kapadia LLP/Landlord and Owner of 56/60, Madamwala Building, V.V. Chandan Street, Masjid (West), Mumbai-400 Masjid its office at - 97, 003, having Floor, Ashoka Ground Centre, Near G. T. Ashoka Hospital, L. T. Marg. Mumbai-400 001 are in possession of Room No. 19, 2nd Floor, 56/60 Madamwala Building, V. V. Chandani Street, Vadgadi, Masjid, Mandvi, Mymbal-400 003, hereinafter referred to as

"said premises". Any person or persons having any claim, demand, share, right, title and/or interest of any nature in respect of said premises bjy way of any Agreement, Sale, Transfer, Charge, ancumbrances, tenancy right/occupancy right, Shri Valjibhai L. Vassa 16/09/1984 at Mumbai.

After the death Shri Valjibh Smt. Taragauri V. Vassa (no wife of late Shri Valjibhai L. Shri Harish V. Vassa (nomin of late Shri Valjibhai L. Vas application to the S transmission under Bye-L nominees of the deceas Shri Valjibhai L. Vassa. J Society has transferred t through transmission under no. 34 to Smt. Taragauri V Shri Harish V: Vassa a members vide LR/217 27/11/1984.

In the year 1993, Nomin Smt. Taragauri V. Vass-Harish V. Vassa have application dated 12/10 adding the name of Smt. Vassa as Associate Accordingly, the name of S H. Vassa was added certificate as an associa along with nominee mem Harish V. Vassa (Nomine)

LR/3019/1993 on 05/01/1993 Thereafter Smt. Taragauri (Nominee member) m application on 06/06/1 dektion of her name fro certificate and accordin Society has deleted the nam Targauri V. Vassa from certificate vide LR/3246/199 certificate vide LR/3246/199 10/12/1996 and share certificate vide LR/3246/199 tarish V. Vassa (Nominee Harsh V. Vassa (Nominee Harsh V. Vassa (Nominee Harsh V. Vassa (Actional Smt. Bhavna H. Vassa (Actional Sm

te Shri Vassabhai L. Vassa

फॉर्म क. युआरसी-२

अंक्टच्या प्रकरण ददख च्या भाग १ अंतर्गत नोंदणीकरणाकरिता अंदाजे जाहिरात देणारी मूचना (कंपनी कायदा, २०१३ च्या अनुच्छेद ३७४ (थी) अंतर्गत व कंपनी (निबंधकांचे प्राधिकरण) नियम, २०१४ च्या नियम ४(१) अंतर्गत)

 सुचना बाइमे देण्यात येते को, कंपनी कायदा, २०१३ च्या अनुच्छेद ३६६ च्या उप-अनुच्छेद (२) च्या तरहूदीअंतर्गत रोअसंद्वारे कंपनी मर्यादित म्हणून कंपनी कायदा २०१३ च्या प्रकरण XXI च्या भाग १ अंतर्गत नोंदणीकृत केलेल्या एडेल अशोरन्स एलएलपी यांच्या सीआरसीचे रत्रिस्ट्रार येथे अर्ज करण्याचा प्रस्ताव करत आहेत. २. कंपनीचा प्रमुख विषय म्हणून लागू कायदा अनुसार नियम व विनियमन अनुसार विहित सदर अन्य सेवा व हमीच्या तस्तूदीच्या व्यवसायांवर कंपनी व्यवहार कात आहे. कंपनीने सदर व्यवहार पार पाडण्याकरिता सर्व उपक्रम आवश्यक, इच्छुक व प्रासंगिक असलेल्या उपक्रम बांचे व्यवसाय नियुक्त कात आहेत.

 संघटनेच्या मसुद्याची ड्रापटची प्रंत व प्रस्तावित संघटनेच्या मसुद्याची प्रंत प्रस्तावित कंपनी कार्यालय पता बी-५०४, कस्तमजी सेंट्रल पार्क, अंधेरी कुला रोड, चकाला, अंधेरी पूर्व, चकाला एमआवडीवी, मुंबई ४०० ०९३ महाराष्ट्र भारत

 सूचना बाट्टारे देण्यात येते को, कोणाही व्यक्तीस सदर अजसिबंधात कोणतेही आक्षेप असल्वास त्यांनी त्यांचे आहोप लेखी स्वरूपात सेंट्रल कंपनीचे निबंधक (सीआरसी), इंडियन इनिस्टियुट ऑफ कॉपॉरेट अफेअर्स (आवआवसीए), प्लॉट क्र. ६, ७, ८, सेक्टर ५, आवएमटी मानेसार, जिल्हा गुडगाव (हरवागा), पिन कोड १२२ ०५० येथे एकवींस दिवसांच्या आत सदर सूचनेच्या प्रसिद्धी तारक्षोपासून त्यांच्या नोंदणीकृत कार्यालय येथे प्रत प्राप्त काता बेईल

दि. १४ मार्च, २०२३

सही) सुजीत नायर - त्रियुक्त भागीदार

जाहीर सूचना

सूचना बाद्वारे देण्यात येते की, श्री. शशिकांत अमृतलाल शहा यांच्या नावातील (फ्लॅंट क्र. ११, बिल्डिंग क. ०२ च्या संदर्भातील सह) एल्लोरा को.ऑप. हाऊसिंग सोसावटी लि. ज्यांचा पता येथे प्लॉट क्र. ४६/४७, दफ्तरी रोड, मालाह (मूर्व), मुंबई - ४०० ०९७ यांचे विभिन्न क. १७१ ते १७५ पासून (दोन्ही एकत्रित) मूळ शेअर प्रमाणपत्र क्र. ३५ हरवले/गहाळ झाले असल्याचे कळविण्यात आले आहे आणि प्रतिलिपी शेअर प्रमाणपत्राच्या जारीकरिता त्यांचा मुलगा श्री. हितेश शशिकांत शहा यांनी नॉमिनेशन फॉर्मनुसार (मूळ मालकांचे निधन झाले असल्याने) सोसायटीकडे अर्ज केला आह.

जाहीर सूचना

याद्वारे सर्व जनतेला सूचना देण्यात येते की, फ्लॅट क्र. ५०२, ५ वा मजला, ए विंग, सिद्धीविनायक होरीझोन, वीर नरिमन मार्ग, बंगाल केमिकल जवळ, प्रभादेवी, मुंबई-४०० ०२५ येथे राहणारे दिपक भगवानदास सचदेवा, यांचे काही विशिष्ट नोंदीमधे दिपक सच्चदेवा असे दाखविण्यात आले आहे आणि सदर दिपक भगवानदास सचदेवा यांनी त्यांचे दिपक सच्चदेवा हे नाव बदलून दिपक भगवानदास सचदेवा असे केलेले आहे आणि यापुढे ते सर्व उद्देशांसाठी दिपक भगवानदास सचदेवा या नावानेच ओळखले जातील. असे नमूद करण्यात

PUBLIC NOTICE NOTICE is hereby given to public at large that the undersigned LAW FIRM is investigating the title of Ms. Rutuja Rahul Patil and others presently residing at

जाहीर सूचना

आमही मे. श्री वरद बिल्डर्स आणि डेवेलोपेर्स एल.

एल. पी., सर्वसाधारण जनतेस कळवू इच्छितो की

महाराष्ट्र शासनाच्या पर्यावरण विभागाने आमच्या

जुना स. नं.६४/६/१, ६४/६/२, ६४/४/२,

EX/X/2, EX/0/2, EX/0/2, EX/43/2

EX/431/2, E3/6/2, E3/6/2, E3/6/2

६३/७/९, ६३/७/२, ६४/३/९, ६४/३/२, गाव

चुल्ने, तालुका: वसई(वेस्ट), जिल्हा - पालघर,

प्रकल्पाला दिनांक २३ फरवरी २०२३, रोजी पत्र

委用市 SIA/MH/MIS/260153/2022, EC

EC238038MH146038अन्वेय पर्यावरणाच्या

दृष्टीकोनातून मान्यता दिली आहे. सदर मान्यता

पत्राची प्रत महाराष्ट्र प्रदूषण नियंत्रण मंडळाच्या

कार्यालयामध्ये तसेच पर्यावरण विभाग, महाराष्ट्र

शासन यांच्या http://parivesh.nic.in/

मे. श्री वरद बिल्डर्स आणि डेवेलोपेर्स एल.

एल. पी. आणि श्री महलक्षिम इंतेप्रीसेस.

No

Identification

संकेतस्थळावर उपलब्ध आहे.

Brahmin All, Chandansar, Virar East, Taluka Vasal, Dist. Palghar in respect of the property more particularly described in the schedule hereunder written. All persons having or claiming any right, title, claim, demand or estate interest in respect of the said property or to any part thereof by way of sale, exchange, mortgage, let, lease, lien, charge, maintenance, license, gift, inheritance, share, possession, easement, trust, bequest possession, assignment or encumbrance of whatsoever nature or

PUBLIC NOTICE

Notice is hereby given to the public at large that, I, Mrs. ZAIBUNNISA MOHD SIDDIQ BASAR, claiming to be the siste and legal representative of deceased Miss ZAITOON BASAR, who passed away unwedded on 25th day of January 2023 and who was the Original Tenant . Occupant in respect of Room Premises No. 9, 2nd Floor, situated at 11 - 15 Dholakia Mansion, Ghoghari Mohaila. Mumbai - 400003 on behalf of all the Legal heirs of late ZAITOON BASAR viz Late Shafi Ahmed Basar (Brother) 2 Salim Ahmed Basar (Brother), 3. Mehmood Ahmed Basar (Brother), 4 Zafar Ahmed Basar (Brother), 5. Zulekha Abdul Rashid Basar(sister), 6. Zarina Aboobakar Basar (sister), 7 Zainab Adbul Kader Basar(sister), 8. Late Zubeda Jamii Akhund (sister) have agreed to sell, transfer, surrender, convey and assign the said tenanted premises bearing Room 6. 9, 2nd Floor, situated at 11 - 15, Dholakia Mansion, Ghoghari Mohalla, Mumbal - 400003 in the property bearing Cadastral Survey No. 2560 of Bhuleshwar Division, and the proposed New Flat premises agreed to be allotted in lieu of the said Tenanted premises pursuant to the redevelopment of the said Property in favour of any intending purchaser. Any person's having any right, title, interest, demand and claim either by way of sale, exchange, charge Assignment, mortgage, trust, lien, license, gift, charge, Powers Of Attorneys, Occupation, possession, inheritance, lease, tenancy, sub tenancy, maintenance, easement, hypothecation, transfer of title or beneficial interest under any trust right of prescription or preemptionor under any agreement or disposition, Injunctions, or under any decree, Order Or Award passed by any Court of Law, Tribunal, Revenue or Statutory Authority, Appellate Authority or sitration or any right or interes

मुंबई, मंगळवार, १४ मार्च २

मागणा म एडलवेस असट तिकन्स सीआवरनः यहत्रत्वत्यम्यः रिटेल सेन्ट्रल जाणि तो. कार्यालयः एडलदेश हाऊव

(सिक्युरिटी इंटोस्ट (एन्डोबेनेट) बक्स বিয়েম্বরটনান এঁম্ছ বিজনেত্বলান লাভ আন

सिक्युरिटी इंटरेस्ट जेक्ट २००२ ज्या कालय १ प्रालील नम्दूर कर्जदारांना जुबना यादारे देश्यात देते की, ल वेदालेल्या पठापुविधेचा चरतावा करम्बास कमून केली अ कराराला अनुसराज ज्यामधील इंडमइंड बेक लिमिटेड (वा भाषबीएलचे तक आणि त्या संदर्भातील सर्व तारण हिट वेशीय सहाय्य सरफैसी अंबटच्या कराव ५ अंशनंत इंएअ सदर मुचना याद्वारे जारी करित आहोत की तुमने कर्ज ख २९ जुले, २०२१ रोजो जॉन पाफॉर्जिंग अंग्रेटम् जनून सदर कर्जदारांच्या अतिम ज्ञात पल्यावर सिक्युरिटायग्रेर एन्फोर्समेंट ऑफ सिक्युरिटी इंटेस्ट अंबट, २००२ (म २०२२ रोजी मागणी सूचना जाउँ करन त्याद्वारे सदर इ. आणि खालील रकमेवरील संविदात्मक दराने ! र, ६,१६,०१,३००.८१ (रापये सङ्गा कोटी सोय ची संपूर्ण रक्तम जुकती करण्यासाठी त्यांना बोलवणे तथापी कर्जदारांनी सदर मागणी सुचना स्वीकारण्य करुस, २००२ (सरफैसी करुस) च्या निषम ३ नुस

क्रमदा

१. मे. विलबेरी हेल्थकेअर प्रा. लि. (र कॉम्प्लेक्स, सेक्टर २४, वाझी, नवी मुंबई- ४० नगर, एमआवडीसी रेसिडेन्शियल झोन, डोबिन संजय पाखले (इमीदार, गहाणवटवार) न बंगल्याच्या मागे, डोंबिवली पूर्व, कल्पाण दि (हमीदार) सी/२०१- २०२, नय लनिया सं कल्याण टिळक नगर, उाणे ४२१२०१. ४. स इस्टेट , कल्पाण - जिळफाटा रोड, जिवाजीर (इमीवार, गडाणवटवार) ११-ए, संदीप प श्रवांगी सतीश पाखले (हमीवार, गहाणव आग/५०३, मास्ती महादेव नगर, नांदिवली र ठाणे ४२१२०१. सी. संगिता विजय सोनजे नितीन कंपनी समोर, पाचपाखाडी, ठाणे परि शिदे बिल्डिंग, ३रा मजला, कॅनरा बेकेजव



MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437 Fax: 24044532/4024068/4023516 Website: http://mpcb.gov.in Email: jdwater@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I No:- Format1.0/JD (WPC)/UAN No.0000159646/CE/2302000754 To,

M/s. Shree Varad Builders and Developer LLP & Shree Mahalaxmi Enterprises S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Tal: Vasai (W), Dist: Palghar Date: 10/02/2023



Sub: Consent to Establish for Residential with Shop line project granted under red category

Your application NO. MPCB-CONSENT-0000159646

For: grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal ofAuthorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- 1. The Consent to Establish is granted for a period upto commissioning of project or up to 5 year whichever is earlier.
- 2. The capital investment of the project is Rs.90 Cr. (As per undertaking submitted by pp).
- 3. The Consent to Establish is valid for Residential with Shop line project named as M/s. Shree Varad Builders and Developer LLP & Shree Mahalaxmi Enterprises, at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Tal: Vasai (W), Dist: Palghar on Total Plot Area of 8073.00 SqMtrs for Total construction BUA of 28720.66 SqMtrs including utilities and services
- 4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
	Domestic effluent	98	Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack	Description of stack /	Number of	Standards to be
No.	source	Stack	achieved
1	DG Set (250 KVA)	1	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Dry Waste	250 Kg/Day	Segregtaion	segregate & handed over to local body
2	Wet Waste	165 Kg/Day	TOWC	Used as Manure

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	8	Ltr/M	NA	Handed over to Local Recycler.

- 8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same should be binding on the industry
- 9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities
- 10. PP shall provide adequate capacity of Sewage treatment plant so as to achieve treated domestic effluent standards for the parameter BOD-10 mg/lit
- 11. The treated domestic effluent shall be 60% recycled for secondary purpose such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening
- 12. The online monitoring system installed for the parameters PH, Flow, BOD,TSS at the outlet of STP & shall be connected to MPCB Server
- 13. Project Proponent shall make provision of charging port for Electric vehicles in at least 30% total available parking area
- 14. Project proponent shall take adequate measures to control noise & dust emission during construction phase
- 15. Project Proponent shall submit an affidavit in Board's prescribed format within 15 days regarding the compliance of conditions of EC /CRZ clearance and C to E
- 16. PP shall obtain Environmental Clearance for the proposed activity from competent authority and PP shall not take any effective step towards the construction work without obtaining Environmental Clearance & Project proponent shall submit Bank Guarantee of Rs. 10 Lakhs towards compliance of consent conditions

sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	125000.00	MPCB-DR-16807	23/01/2023	NEFT

- 1. Regional Officer, MPCB, Thane and Sub-Regional Officer, MPCB, Thane II
- They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- A] As per your application, you have proposed to provide MBBR based Sewage Treatment Plants (STPs) of combined capacity 130 CMD for treatment of domestic effluent of 98 CMD.
 - B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	рН	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	117.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

1) As per your application, you have proposed to provide the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Source	APC System provided/proposed	Height(in	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
1	DG SET 250 KVA	Acoustic Enclosure	10.00	HSD 32.4 Ltr/Hr	-	SO2	15.56 Kg/Day

2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

5) Conditions for utilities like Kitchen, Eating Places, Canteens:-

- a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
- b) The toilet shall be provided with exhaust system connected to chimney through ducting.
- c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
- d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

	SCHEDULE-III Details of Bank Guarantees:								
Sr. No.	Consent(C2E/C2 O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date			
1	Consent to Establish	Rs. 10 Lakh	15 days	Towards Compliance of Consent conditions & of Pollution Control Systems	Up to	Up to Commissioning of the project			

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Lonsent	Amount of BG imposed	Submission Period	Purpose of BG	<i>D</i> G	Reason of BG Forfeiture		
NA								

BG Return details

S	rno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
				NA	

SCHEDULE-IV

Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
	During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
С	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.

- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

This certificate is digitally & electronically signed.

	CLEARANCE		To, The Designated Partner SHREE VARAD BUILDERS	vernment of India nent, Forest and Climate Change Environment Impact Assessment (SEIAA), Maharashtra)
PARIVESH	(Pro-Active and Responsive Facilitation by Interactive,	and Virtuous Environmental Single-Window Hub)	 Subject: Grant of Environmental Clear under the provision of EIA N Sir/Madam, This is in reference to your in respect of project submitted SIA/MH/MIS/260153/2022 dated 08 N clearance granted to the project are a 1. EC Identification No. 2. File No. 3. Project Type 4. Category 5. Project/Activity including Schedule No. 6. Name of Project 7. Name of Company/Organization 8. Location of Project 9. TOR Date 	arance (EC) to the proposed Project Activity lotification 2006-regarding r application for Environmental Clearance (EC) d to the SEIAA vide proposal number Mar 2022. The particulars of the environmental as below.
	PAROVESH PAROVESH		Note: A valid environmental cleara number & E-Sign generated from number in all future corresponde This is a computer generated cover	

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/MIS/260153/2022 Environment & Climate Change Department Room No. 217, 2nd Floor, Mantralaya, Mumbai- 400032.

To

M/s. Shree Varad Builders and Developers LLP & Shree Mahalaxmi Enterprises, S.No.64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village: -Chulne, Vasai (W), Palghar.

Subject : Environmental Clearance for Proposed Residential with shopline Project at S.No.64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 Village: - Chulne, Vasai (W), Palghar by M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises

Reference : Application no. SIA/MH/MIS/260153/2022

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 191st meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 255th (Day-3) meeting of State Level Environment Impact Assessment Authority (SEIAA).

Sr. No.	Description	Details			
1	Proposal Number	SIA/MH/MIS	/260153/2022		
2	Name of Project	Residential with shopline project			
3	Project category	8(a)			
4	Type of Institution	Proprietor			
	· · ·	Name	Mr. Rajesh Keshav Vartak		
5	Project Proponent	Regd. Off. address	Shree Varad Builders and Developers LLP & others C-501, Sanskruti 1 CHS, J N Road, Vasai West – 401201		
		Contact	7798045502		
		e-mail	rajeshvartak015@gmail.com		
6	Consultant	EIA Coordinator: Sourabh Jaiswar Pollution & Ecology Control Service NABET/EIA/2023/SA/0165 Validity till 14-1-2023			

2. Brief Information of the project submitted by you is as below:-

7	Applied fo	r		New Projec	xt			
8	Location of the project		S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Vill: -Chulne, Vasai (W), Palghar					
9	Latitude at	nd Longitude		19° 22'17.0	6"1	N, and: 72° 49	'00.31"E	, ,
10	Plot Area (8073.00				
11	Deduction			4318.08	_			
12	Net Plot a			3754.12	ι.	• ,· •		
13		verage (m ²) & %		1125.40		14 		
14	FSI Area (Sq.m.)		17950.41	į.		5.0 ₀₀	
15	Non-FSI (s. 1915	10770.25				
16		built-up area (FS	I + Non	28720.66	· · · .			
17		²) approved by	Planning	20087.49				
18	Earlier E	C details wit on area, if any.	h Total	NA			*	
19	Constructi	on completed (FSI + Non FSI)	as per (Sq.m.)	NA				
		EC / Existing Bu		Proposed (Cor	nfiguration		Reason for
20	Building Name	Configuration	Height (m)	Bldg Name	C	onfiguration	Ht (m)	Modification / Change
				1 Bldg		B+Gr.+P+E- vl+24 F	87.75	
21	No. of Tenements & Shops			Flats :164, Shops:12,				
22	Total Population Total Water Requirements CMD		844 Nos.					
23			117					
24	Under Gro	und Tank (UGT)		Basement Level				
25	Source of			VVCMC at	nd	Recycled Wate	ЭГ	-01 AB
26	STP Capa	city & Technolog	y	130 KLD &	έN	IBBR Technol	ogy	
27.	STP Locat			Basement I	Lev	vel 👘		
28	Sewage G	eneration CMD	& % of	98 & 43 %				
28 *	sewage discharge in sewer line							
				Туре		Quantity (Kg/d)	Treatm	ent/ disposal
29	Solid Waste Management during		Dry waste		10		ecyclers	
29	Construction Phase		Wet waste		15		ecyclers	
			Construction waste	on	560 cum		or Backfilling & velling.	
	Tetel Colid Words Occupition with		Туре	Type Quantity Treatment		ient/ disposal		
	Tet-1 C-1	d Wasta Amaria	Total Solid Waste Quantities with type during Operation Phase &			250	Authorise vendor	
20		-		Dry waste			Treated in OWC	
30	type duri	ng Operation I	Phase &	Ury waste Wet waste		165	Treated	l in OWC
30	type duri	-	Phase &		-	165 10		l in OWC ise vendor
30	type duri	ng Operation I	Phase &	Wet waste	e		Author	
30	type duri	ng Operation I	Phase &	Wet waste E-Waste		10 10	Author	ise vendor
30 31	type duri	ng Operation I of OWC to be ins	Phase &	Wet waste E-Waste STP Sludge RG Require	ed	10 10	Author Used as	ise vendor s Manure.

,

		Total – 381.68 Sq.mt.						
		Existing trees on plot: Nil						
		Number of trees to be planted: In RG area: 105 Nos.						
		Number of trees to be cut: 0 Nos.						
		Number of trees to be transplanted: 0						
ĺ	Power requirement	Operation Phase:						
32		Connected load (kW) 2082 kW						
		Demand load (kW) 1118 kW						
33	Energy Efficiency	a) Total Energy saving (%): 18.51%						
33	Energy Enriciency	b) Solar energy (%): 5.01%						
34	D.G. set capacity	250 KVA						
35	No. of 4-W & 2-W Parking with	4-Wheelers – 227Nos.						
33	25% EV	2-Wheelers -411Nos.						
36	No. & capacity of Rain water harvesting tanks /Pits	1 RWH tank and Capacity are 30 cum.						
37	Project Cost in (Cr.)	Rs. 98.40 Cr.						
38	EMP Cost	Capital Cost 170.00 Lakhs.						
38		O&M Cost 15.10 Lakhs/Year.						
	CER Details with justification if any							
39	as per MoEF&CC circular dated							
	01/05/2018							
	Details of Court Cases/litigations							
40	w.r.t the project and project location,	-						
	if any.							

3. Proposal is a construction project. Proposal has been considered by SEIAA in its 256th (Day-3) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

- 1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
- 2. PP to obtain CFO NOC.
- 3. Planning authority to ensure that assured water supply, sewer and storm water network are made available in the vicinity of the project before issuing occupation certificate to the project.
- 4. PP to submit revised architect certificate regarding break up of FSI, Non-FSI & total construction area as per Old DCR & prevailing UDCPR,2020.
- 5. PP to revise STP capacity to the extent of only 10% of actual sewage generation within the project site; PP to reduce discharge of treated water up to 35%; PP to submit

undertaking from concerned authority/agency/third party regarding use of excess treated water.

6. PP to obtain NOC from State Wetland Authority, if required.

B. SEIAA Conditions-

- 1. This EC is restricted up to 69.95 m height only as per CFO NOC.
- 2. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
- 3. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
- 4. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
- SEIAA after deliberation decided to grant EC for FSI-12426.71 m2, Non FSI-7660.79nm2, Total BUA-20087.49 m2. (Plan approval No. VVCMC/TP/AMEND /58068/5819/351/2022-23 dated.04.10.2022).

General Conditions:

a) <u>Construction Phase :-</u>

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.

- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
 - XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to

give100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.

- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (EVs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
 - IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
 - X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
 - XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in
- XII. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
- XIII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIV. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.
- II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
- III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
- V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
- VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
- VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.

4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.

6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.

The above stipulations would be enforced among others under the Water (Prevention and 8. Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

Any appeal against this Environment clearance shall lie with the National Green Tribunal 9. (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Pravin Darade (Member Secretary, SEIAA)

Copy to:

- 1. Chairman, SEIAA, Mumbai.
- 2. Secretary, MoEF & CC, IA- Division MOEF & CC
- 3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
- 4. Regional Office MoEF & CC, Nagpur
- 5. District Collector, Palghar,
- 6. Commissioner, Vasai Virar Municipal Corporation
- 7. Regional Officer, Maharashtra Pollution Control Board, Thane.