

# **HALF-YEARLY POST EC COMPLIANCE REPORT**

OF

Proposed Residential with shophine Project at S. No 64/6/1, 64/6/2,  
64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1,  
63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

PERIOD

July 2023 – December 2023

Project Proponent

**M/s. Shree Varad Builders and Developers**

**LLP and Shree Mahalaxmi Enterprises.**

# SHREE VARAD

## BUILDERS & DEVELOPERS LLP

Reg. Add : C-501, Sanskruti 1 Co-op. Hsg. Soc., J. N. Road, Vasai (W), 401 201, Tal. Vasai, Dist. Palghar, Maharashtra, India.

Office Add : Shop No. 19, Sanskruti 1 Co-op. Hsg. Soc., J. N. Road, Vasai (W), 401 201, Tal. Vasai, Dist. Palghar, Maharashtra, India.

Email : shreevbd@gmail.com

LLP ID No. : AAN-9910

Date: 09-03-2024

To  
The Director  
Regional Office (WCZ),  
Ministry of Environment, Forest and Climate Change,  
Nagpur

Subject: Submission of six-monthly monitoring report July-December, 2023 for Environmental Clearance for Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

Ref : No. SIA/MH/MIS/260153/2022 dated. 23.02.2023

Sir,

With reference to above subject, we would like to inform you that we have been accorded the environmental clearance for our Commercial project from SEIAA, Maharashtra on 11.04.2023. We hereby submit six monthly monitoring report for the period ended (July-December, 2023) for building and construction project.

We hope that the above submission meets your expectation and request you to kindly give us receipt of submission of the same.

Thanking You,

Yours Faithfully,

Mr. Rajesh Vartak,

M/s. Shree Varad Builders and Developers

LLP and Shree Mahalaxmi Enterprises



महाराष्ट्र प्रदूषण नियंत्रण मंडळ  
कल्पतरु पॉईंट, २ रा मजला, सायन सर्कल,  
सिनेप्लेनट समेक, सायन (पूर्व),  
मुंबई - ४०० ०२२.  
फोन :- २४०१०४३७ / २४०२०७८९.  
Website www.mpcb.gov.in

CC : Member Secretary , SEIAA

Member Secretary, MPCB

Member Secretary, CPCB

**Project Status Sheet**

#	Particulars	Details
<b>A</b>	<b>Status of construction as on date</b>	<b>Excavation - 100%</b> <b>Basement – 75%</b>
1	No of constructed building & its floor	-
2	Total Constructed Area including non FSI in sq. m as on date	<b>Basement raft done 75%</b>
3	Year of completion of project	<b>2029</b>
<b>B</b>	<b>Total investment as on date</b>	
1	Total investment on construction activities including land	<b>Rs. 1182.19 lacs</b>
2	Total investment on Environmental facilities	-
<b>C</b>	<b>Environmental Facilities</b>	
1	STP Capacity (if installed)	-
2	STP Technology (if installed)	-
3	OWC capacity (if installed)	-
4	RWH Tank capacity (if installed)	-
<b>D</b>	<b>Details of any court case/litigation, Stop work etc.</b>	<b>NA</b>



# **COMPLIANCE OF EC CONDITION**

**FOR**

Proposed Residential with shophine Project at S. No 64/6/1, 64/6/2,  
64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1,  
63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar..

***PROJECT PROPONENT***

**M/s. Shree Varad Builders and Developers**

**LLP and Shree Mahalaxmi Enterprises.**

# SIX MONTHLY COMPLIANCE REPORT

Proposed Residential with Shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar by M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises.

**Point wise compliance status to various stipulations laid down by the Government of Maharashtra as per: Environmental Clearance issued vide letter no. SIA/MH/MIS/260153/2022 dated. 23.02.2023 as follows:**

**Specific Conditions:**

Sr. No	COMPLIANCE	REPLY
<b>SEAC Conditions</b>		
1	<b>PP to submit IOD/IOA/Concession document/plan approval or any other form of documents as applicable clarify its conformity with local planning rules and provisions there under as per circular dated 30.01.2014 issued by the environmental department, Govt of Maharashtra</b>	We have plan approval from Vasai Virar City Municipal Corporation vide Ref No. VVCMC/TP/AMEND/VP/58068/5819/351/2022-23 Dated 04.10.2022 Copy of approved plan attached as <b>Annexure 01.</b>
2	<b>PP to obtain CFO NOC</b>	We have obtained CFO NOC, attached as <b>Annexure 02.</b>
3	<b>Planning authority to ensure the assured water supply provision, storm water drainage, sewer line facility are made available within the vicinity of the project before issuing the OC.</b>	Condition is noted.
4	<b>PP to submit revised architect certificate regarding break up of FSI, Non FSI &amp; Total construction area as per old DCR &amp; prevailing UDCR, 2020.</b>	We hereby submit revised architect certificate regarding break up of FSI, Non FSI & Total construction area as per old DCR & prevailing UDCR, 2020as <b>Annexure 03.</b>
5	<b>PP to revise the STP capacity to extent of only 10% of actual sewerage generation with in project site. PP to reduce discharge of treated water up to 35%, PP to submit undertaking from concern authority/Agency/third party regarding use of excess treated water.</b>	Condition is noted.
6	<b>PP to obtain NOC from state wetland authority, if required.</b>	Project does not fall under Wetland Zone. Hence, NOC from State Wetland NOC Not Applicable.
<b>SEIAA Conditions</b>		
1	<b>This EC is restricted up to 69.95 m height only as per CFO NOC.</b>	Condition is noted.
2	<b>PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving</b>	Condition is noted.



# SIX MONTHLY COMPLIANCE REPORT

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Sr. No	COMPLIANCE	REPLY
	is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.	
3	PP to achieve at least 5% of total energy requirement from solar/other renewable sources.	Refer <b>Annexures 04.</b>
4	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	Condition is noted.
5	SEIAA after deliberation decided to grant EC for FSI-12426.71 m2, Non FSI- 7660.79nm2, Total BUA-20087.49 m2. (Plan approval No. VVCMC/TP/AMEND /58068/5819/351/2022-23 dated.04.10.2022)	Condition is noted.
<b>GENERAL CONDITIONS</b>		
<b>(Construction Phase)</b>		
1	The solid waste generated should be properly Collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	Condition is noted and we shall comply the same.
2	Disposal of muck, Construction spoils, including, bituminous material during construction phase should not create any adverse effect on the neighbouring and communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.	All construction waste will get collected and segregated properly. Most of that shall be reused for the construction activity.
3	Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.	We shall comply the same.
4	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets The safe disposal of wastewater and solid wastes	Adequate drinking water facility shall be provided for the workers at the site during construction phase.

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Sr. No	COMPLIANCE	REPLY
	generated during the construction phase should be ensured.	
5	Arrangement shall be made that waste water and storm water do not get mixed.	Covered sewage system has been proposed which is connected to STP for the treatment and reuse of the treated water. Excess treated water shall be disposed of into the sewer drain.
6	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.	Tanker water is used for construction work.
7	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	There is no extraction of ground water.
8	Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.	Use of only Tanker water for construction practice.
9	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	Adequate measures are taken into consideration to minimize the wastage of water.
10	The Energy Conservation Building code shall be strictly adhered to.	Condition is noted and we shall comply the same.
11	All the topsoil excavated during construction activities should be stored for use in horticulture I landscape development within the project site.	Excavated top soil is used for landscaping.
12	Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that _natural drainage system of the area is protected and improved.	Condition is noted.
13	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	Soil testing was done, according to the reports all the parameters are within limit and so there is no threat to groundwater quality by leaching of heavy metals and other toxic contaminants.
14	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment clearance.	Condition is noted.

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Sr. No	COMPLIANCE	REPLY
15	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to environments (Protection) Rules prescribed for air and noise emission standards.	DG of 250 KVA capacity shall be used as backup during construction phase. These are environment friendly make and provided with acoustic enclosure to avoid noise emission.
16	PP to strictly adhere to all the condition mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment clearance.	Condition is noted.
17	Vehicle hired for transportation of Raw material shall strictly comply the emission norm prescribed by ministry of road Transport and Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.	Condition is noted and we shall comply the same.
18	Ambient noise level should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measure should be made to reduce ambient air and noise level during construction phase, so as to conform to be stipulated standards by CPCB/MPCB.	<p>Following care will be taken regarding noise levels with conformation to the residential area.</p> <ul style="list-style-type: none"> <li>• Use of well-maintained equipment fitted with silencers.</li> <li>• Noise shields near the heavy construction operations are provided.</li> <li>• Construction activities are limited to daytime hours only.</li> </ul> <p>Also, use of Personal Protective Equipment (PPE) like ear muffs and ear plug during construction activities.</p>
19	Diesel power generating sets proposed as as source of backup power for elevators and common area illumination during construction phase should have enclosed type and conform to rule made under the environment (Protection) Act, 1986, The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the Dg sets may be decided with in consultation with Maharashtra Pollution control Board.	<ul style="list-style-type: none"> <li>•D.G. sets will be provided as back up for Residential buildings.</li> <li>• 250 KVA D.G. set will be provided with silencer &amp; acoustic enclosures. The stacks shall be provided as per MPCB norms.</li> </ul>



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Sr. No	COMPLIANCE	REPLY
20	<b>Regular supervision of the above and other measure for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environmental cell/ designated person.</b>	Regular supervision done by our site engineer to take care of the construction activity and of the surroundings.
B) Operation phase		
1	<b>a) The solid waste generated should be properly collected and and segregated. b) Wet waste should be treated by Organic Waste Converter and treated Waste (manure) should be utilized in the existing premises for gardening. No wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sit for land filling after recovering recyclable material.</b>	Garbage will be collected manually from each of the building and carted to collection spot through trolleys. In order to avoid problems associated with solid waste disposal problems, an effective solid waste management system will be followed by segregating the wet and dry garbage. Wet waste will be treated by Organic Waste Converter.
2	<b>E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.</b>	Yes, E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2011
3	<b>a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.</b>	STP of capacity of 130 CMD (MBBR) has been provided to treat the waste water. STP has been provided by established consultant and operation and maintenance shall be done by the technical persons of consultant. MOU will be done for the maintenance. Refer <b>Annexure 05</b> .
4	<b>Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be-given</b>	STP shall be provided for Recycling of wastewater. Proper disposal of waste will be done through well managed Solid Waste management team.

# SIX MONTHLY COMPLIANCE REPORT

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Sr. No	COMPLIANCE	REPLY
	<b>unless all above said environmental infrastructure is installed and made functional including water requirement.</b>	
5	<b>The Occupancy Certificate shall be issued by the local Planning Authority to the Project only after ensuring sustained availability of drinking water connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.</b>	Condition is Noted.
6	<b>Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.</b>	This effect would be prominent during construction as well as operation phase. The probability of inconvenience faced due to the frequency of truck movement during construction phase would be minimized by better control of traffic movement in the area. Noise levels expected from the planned operating conditions have been assessed and are likely to be within acceptable levels. The impacts have been mitigated by the suggested measures in the “air control and management section”. Anti-honking sign boards are placed in the parking areas and on entry and exit point. The project will be provided with sufficient road facilities within the project premises and there will be a large area provided for the parking of vehicles.
7	<b>PP to provide adequate electric charging points for electric vehicles (EVs).</b>	We shall propose 25% of charging points for Electric vehicles on total parking in the project.
8	<b>Green Belt development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/Agriculture Dept.</b>	<ul style="list-style-type: none"> <li>•The green area will be approx. 381.69 sq.mt</li> <li>•A combination of native evergreen trees and ornamental flowering trees, shrubs and palms are planned in the complex.</li> <li>•There will be plantation of about 105 plants.</li> </ul> Refer <b>Annexure 06.</b>
9	<b>A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.</b>	Separate environment management cell/ consultant with qualified staff is formed and implementing the same.

# SIX MONTHLY COMPLIANCE REPORT

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Sr. No	COMPLIANCE	REPLY
10	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. This cost shall include as part of the project cost. The fund earmarked for the environment protection measures shall not be diverted for other purpose.	EMP cost has been worked out and allocated for all air pollution devices and other facilities. Refer <b>Annexure 07.</b>
11	The project management shall advertise at least in to local newspaper widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter informing that the project has been accorded environment clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <a href="http://parivesh.nic.in">http://parivesh.nic.in</a>	The advertisement was published in Marathi and English language local newspaper. In Marathi newspaper "NAVSHAKTI" dtd. 14.03.2023 & in English newspaper 'The FREE PRESS JOURNAL' dtd. 14.03.2023. Refer <b>Annexure 08.</b>
12	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	We shall comply the same.
13	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO <sub>2</sub> , NO <sub>x</sub> (ambient levels as well as stack emissions) or critical sector parameters, indicates for the projects shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Condition is noted.

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Proposed Residential with Shopline Project at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar by M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises.

Sr. No	COMPLIANCE	REPLY
<b>C) General EC Condition: -</b>		
1	<b>PP has to strictly abide by the conditions stipulated by SEAC&amp; SEIAA.</b>	Condition is noted and we shall comply the same.
2	<b>If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.</b>	We have obtained Consent to Establish from MPCB. Copy is enclosed as <b>Annexure 09</b> .
3	<b>Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environment clearance.</b>	Environmental Clearance is already obtained. Refer <b>Annexure 10</b> .
4	<b>The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC condition including result of monitored data (both in hard copies as well as by e-mail to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.</b>	Condition is noted and submitted to regional office of MoEF. We are submitting herewith six-monthly reports to environment department, Mantralay & MPCB.
5	<b>The environmental statements for each financial year ending 31<sup>st</sup> March in Form-V as is mandated to be submitted by the project to the concerned State pollution Control Board as prescribed under the environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC condition shall also be sent to the respective Regional Offices of MoEF E-mail.</b>	Condition is noted and we shall comply the same.

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Sr. No	COMPLIANCE	REPLY
6	<b>No further Expansion or modification, other than mentioned in the EIA Notification, 2006 amendments, shall be carried out without prior approval of the SEIAA. In case of deviation or alteration in the project proposal form those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of condition imposed and to add additional environmental protection measure require, if any.</b>	Condition is noted.
7	<b>This environmental clearance is issued subject subject to obtaining NOC form forestry &amp; Wild life angle including clearance from the standing committee of the national board for Wild life as if applicable &amp; this environmental clearance does not necessarily implies the Forestry &amp; Wild life c clearance granted to the project which will be to the considered separately on merit.</b>	As the site is not within the radius as define under the circular number and hence NOC is not applicable.

# ANNEXURES

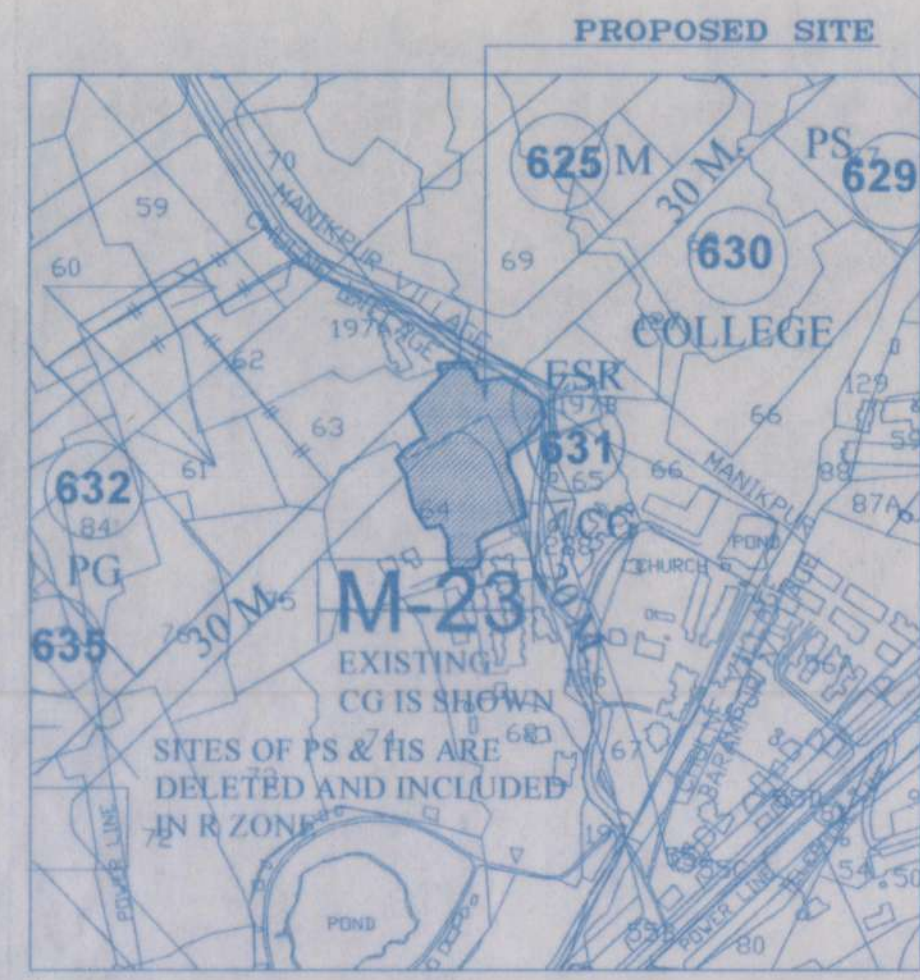
Proposed Residential with shopline Project at S. No 64/6/1, 64/6/2,  
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63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Vasai (W), Palghar.

## *PROJECT PROPONENT*

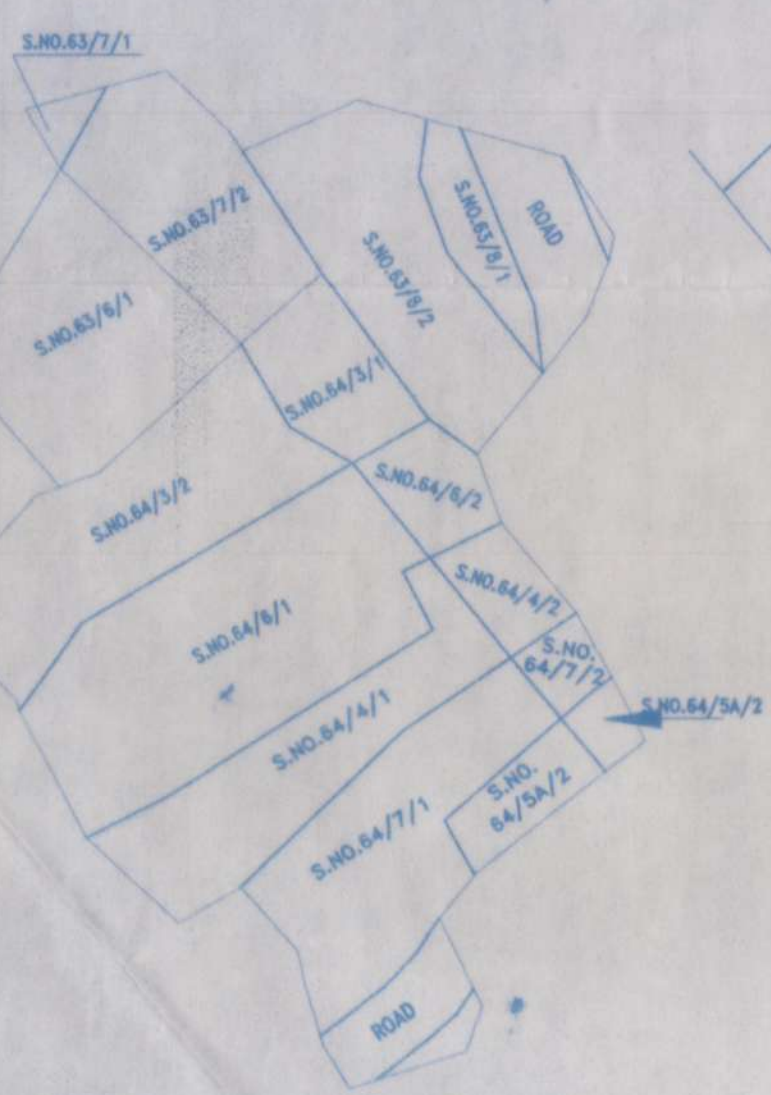
**M/s. Shree Varad Builders and Developers**

**LLP and Shree Mahalaxmi Enterprises.**





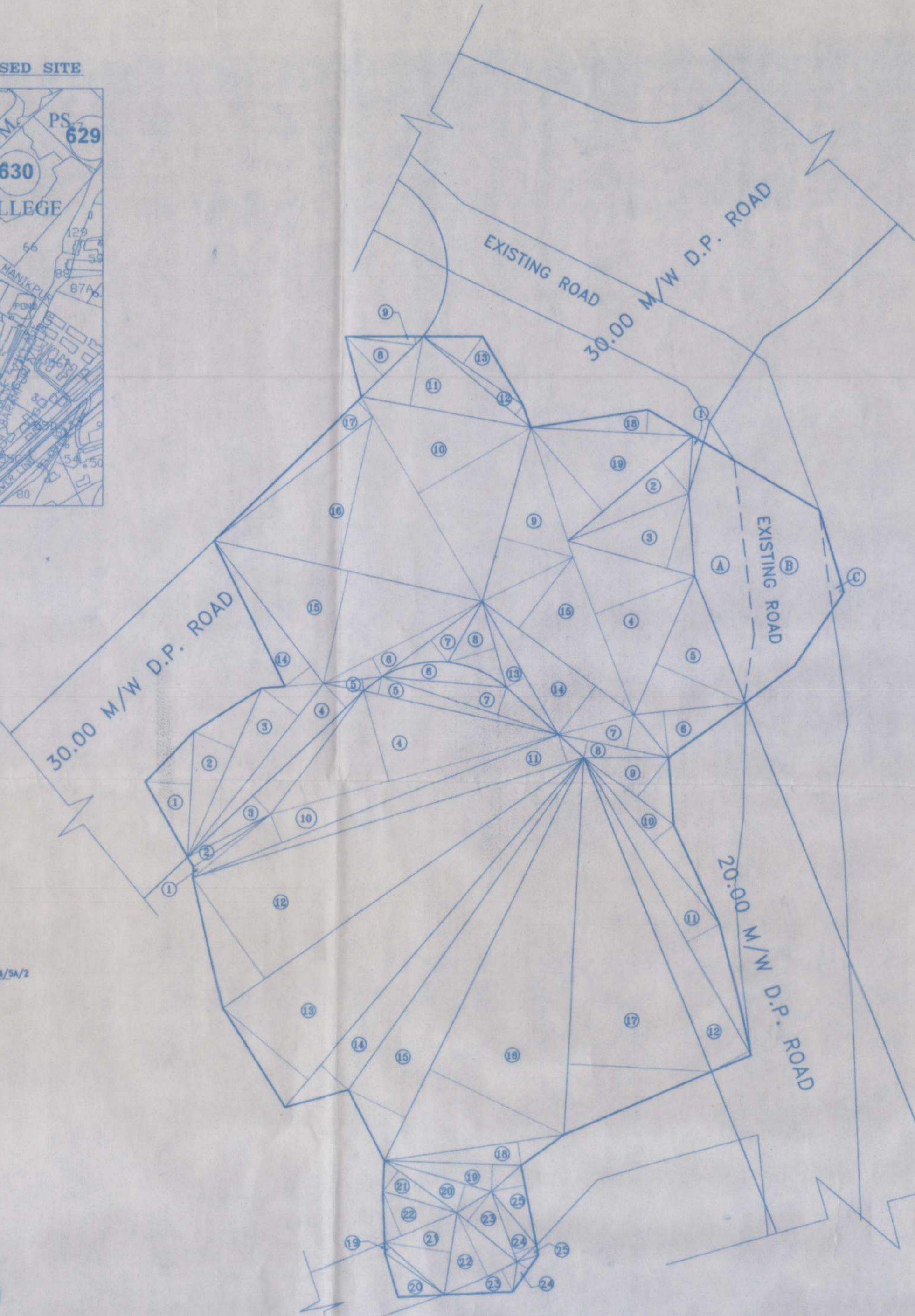
LOCATION PLAN SCALE-1:5000



HOLDING AREA DIAGRAM SCALE 1:1000

HOLDING AREA STATEMENT (OLD) table with columns S.NOS and AREA AS PER 7/12.

HOLDING AREA STATEMENT (NEW) table with columns S.NOS and AREA AS PER 7/12.



PLOT AREA DIAGRAM SCALE-1:500

P-LINE AREA STATEMENT and NEW AREA table with columns for FLOORS, P-LINE AREA, E-LEVEL AREA, etc.

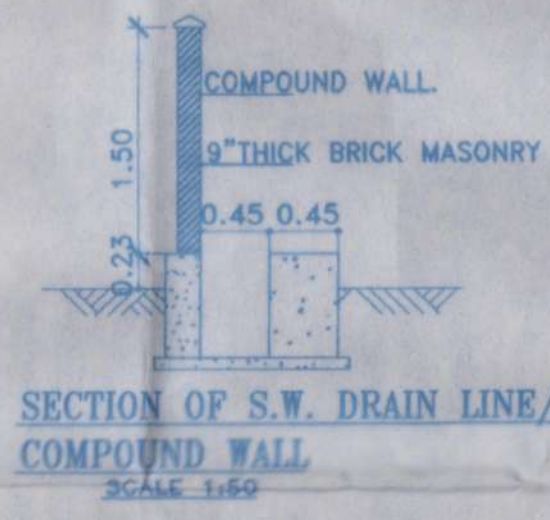
PARKING AREA STATEMENT

PARKING AREA STATEMENT table with columns CARPET AREAS, TENEMENT, CAR PARKING, TWO WHEELER PARKING.

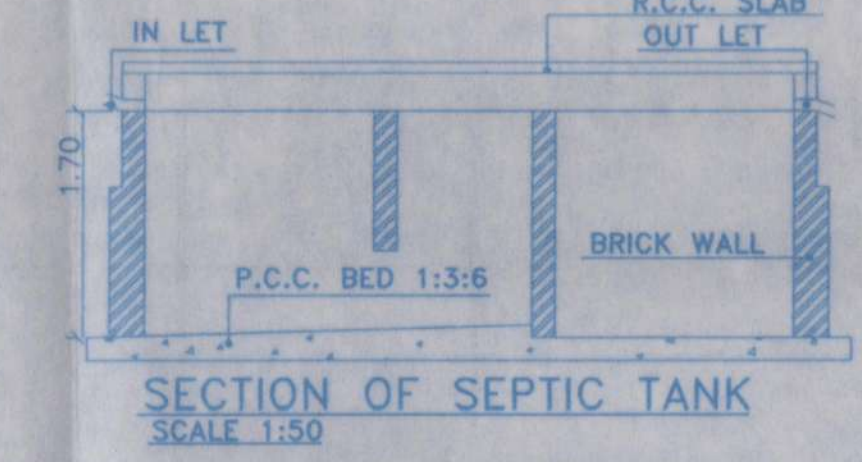
(NOTE:- CARPET AREA OF FLAT EXCLUDING BALCONY CONSIDERED FOR PARKING.)



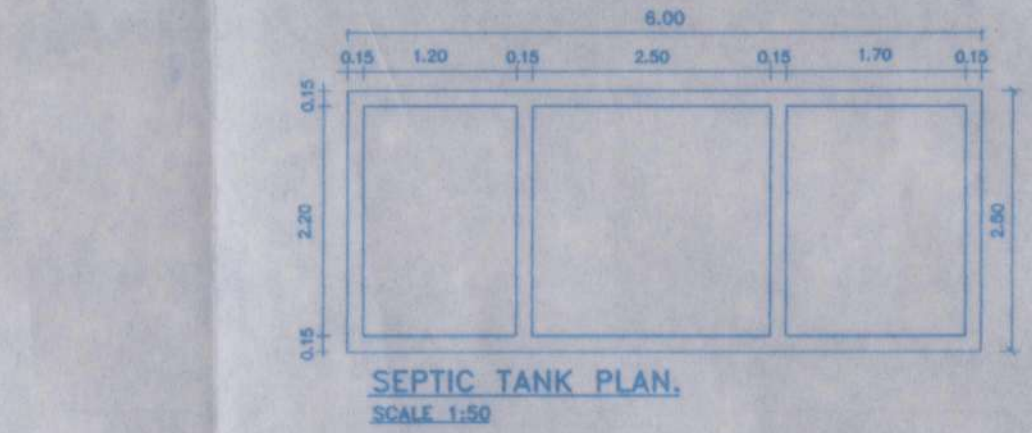
GATE ELEVATION SCALE 1:500



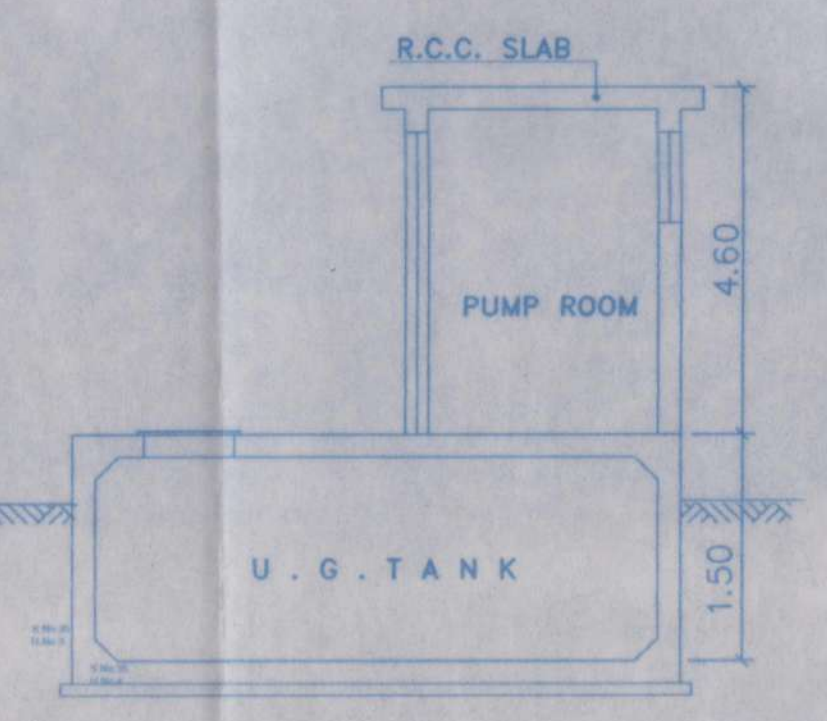
SECTION OF S.W. DRAIN LINE/ COMPOUND WALL SCALE 1:500



SECTION OF SEPTIC TANK SCALE 1:50



SEPTIC TANK PLAN SCALE 1:50



SECTION OF U.G. WATER TANK & PUMP ROOM SCALE 1:50

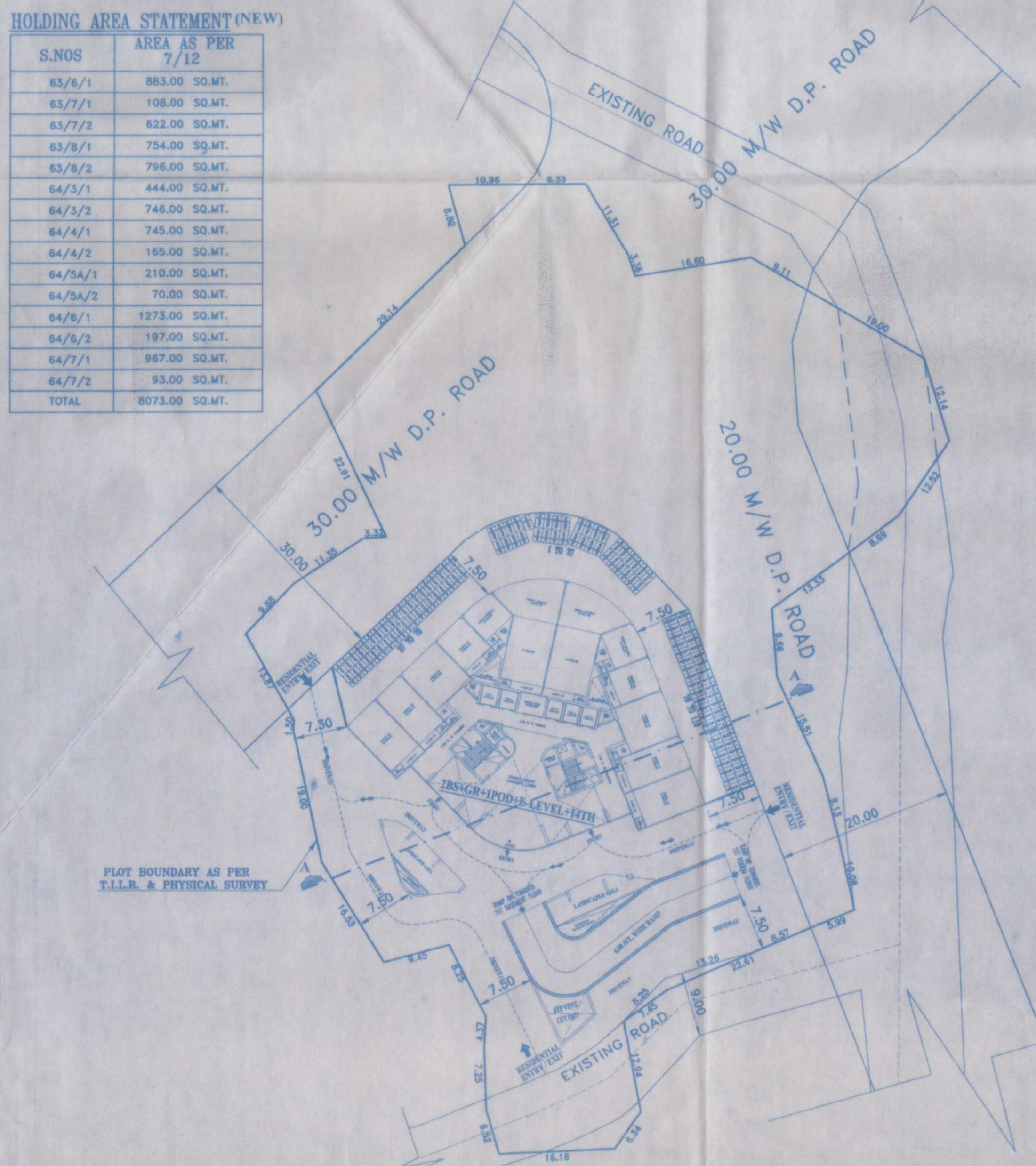
PLOT AREA CALCULATION

PLOT AREA CALCULATION table with sub-sections (I) AREA UNDER 30 M/W D.P. ROAD, (II) AREA UNDER 20 M/W D.P. ROAD, (III) AREA UNDER EXISTING ROAD, (IV) AREA UNDER R.ZONE.

PROFORMA-I [AS PER NEW UDCPR] table with columns A. AREA STATEMENT and SO.MTS. containing various area calculations and deductions.

PROFORMA II table with columns REVISIONS, DESCRIPTION, DATE, SIGNATURE, and CONTENTS OF SHEET.

CERTIFICATE OF AREA table with columns for JOB NO., DATE, DRAWING NO., SCALE, NORTH LINE, and SIGNATURE OF APPLICANT.



LAYOUT PLAN

AS PER STATEMENT

AS PER APPROVAL OF PLANS

COMMISSIONER

Deputy Director

Signature of Registered Engineer

Signature of Registered Engineer

SANJAY S. NARANG REGISTERED ENGINEER

EN-CON Architectural & Structural Works Project Consultants





## VASAI VIRAR CITY MUNICIPAL CORPORATION FIRE & EMERGENCY DEPARTMENT

Tel. No.: 0250-2525110,2464811,9822321684,7775042200,8975360101,8888864283,8888864275

VVCMC/FIRE/HQ/203/2022-23

DATE: 05/05/2022

To,  
The Deputy Director of Town Planning,  
Vasai Virar City Municipal Corporation,  
Dist.-Palghar.



**Sub:-**Grant of Revised "Provisional No Objection Certificate" for Proposed Residential Cum Commercial Building located on Land Bearing S.No.63/8, S.No.64/4, S.No.64/5A, S.No.64/6, S.No.64/7, S.No.63/7 & S.No.64/3 of Village: Chulne, Tal: Vasai, Dist: Palghar.

- Ref:-**
- 1) A Letter from Deputy Director Town Planning No. V.V.C.M.C/TP/1707/2021-22, Dated:18/02/2022 (VP- 5806 & 5819)
  - 2) An Application received from M/s- En Con Project Consultants, Dated:14/02/2022
  - 3) An Application received from Developer M/s- Shree Varad Builders & Developers LLP, Dated:14/02/2022
  - 4) Gross built up area certificate received from M/s- En Con Project Consultants, Dated:14/02/2022
  - 5) CC issued by VVCMC/TP/CC/VP-5806 & 5819/129/2020-21, 10/12/2020
  - 6) This office Provisional Noc issued by VVCMC/FIRE/HQ/2284/2019-20, Dated:24/02/2020
  - 7) Site Photos Dated:18/04/2022

This is a proposal for construction of High rise **Residential cum Commercial Building** having **Two level Basement + Ground + 3 Podium + 18 upper floors** with a total height **69.95mtrs.** From general ground level to terrace level.

**Basement** is below the building line as well as extends beyond the building line. It is proposed for Car Parking. Basement will be compartmented with fire curtains in such a way that, each compartment does not exceeds 1125sq.mtrs. Natural ventilation to the basement is provided through cutouts.

This office all ready given Provisional No Objection Certificate No. VVCMC/FIRE/HQ/2284/2019-20, Dated:24/02/2020 and now the Architect has again applied of Revised Provisional Fire Noc.

After Complying these recommendations this department will issue a Final No Objection Certificate for the purpose of occupational certificate.

Use of various floors is as follows:-

▪ **RESIDENTIAL CUM COMMERCIAL BUILDING**

Sr. No	Bldg	Floor	Area sq.mtr	Height mtr
1	Resi Cum Comm Bldg	2 <sup>nd</sup> Basement	1985.90	- 6.50
2		1 <sup>st</sup> Basement	1908.50	- 3.40
3		Ground / Stilt Floor / Shopline	1125.40	0.30
4		1st Floor Parking (Podium)	2081.60	4.50
5		2 <sup>nd</sup> Floor Parking (Podium)	2081.60	7.55
6		3 <sup>rd</sup> Floor Parking (Podium)	2069.60	10.60
7		E-Level 1 <sup>st</sup> Floor	985.09	14.00
8		2 <sup>nd</sup> Floor	852.01	17.65
9		3 <sup>rd</sup> Floor	852.01	20.75
10		4 <sup>th</sup> Floor (Refuge Area)	851.61	23.85
11		5 <sup>th</sup> Floor	852.01	26.95
12		6 <sup>th</sup> Floor	852.01	30.05
13		7 <sup>th</sup> Floor	852.01	33.15



14		8 <sup>th</sup> Floor	852.01	36.25
15		9 <sup>th</sup> Floor (Refuge Area)	851.61	39.35
16		10 <sup>th</sup> Floor	852.01	42.45
17		11 <sup>th</sup> Floor	852.01	45.55
18		12 <sup>th</sup> Floor	852.01	48.65
19		13 <sup>th</sup> Floor	852.01	51.75
20		14 <sup>th</sup> Floor(Refuge Area)	851.61	54.85
21		15 <sup>th</sup> Floor	852.01	57.95
22		16 <sup>th</sup> Floor	852.01	60.95
23		17 <sup>th</sup> Floor	852.01	63.95
24		18 <sup>th</sup> Floor	852.01	66.95
25		<b>Total</b>	<b>26720.66</b>	<b>69.95</b>

**OPEN SPACE:**

The site abuts on 30.00mtrs & 20.00mtrs wide D.P. Road on North side & 9.00mtrs wide Existing Road on South side. as shown on the plan.

**The side open spaces around the building are as under.**



Sides	From Building Line to Plot Boundary
North	7.50mtrs + 30.00mtrs & 20.00mtrs D.P. Road
South	7.50mtrs.
West	7.50mtrs
East	7.50mtrs

**STAIRCASE & LIFTS:**

**THE DETAILS OF STAIRCASE:**

Staircase description	Type of staircase	Width of staircase	Nos. of staircase
Leading from Basement to Terrace level	Open	2.00mtrs.	02 Nos.

The proposed staircases are externally located & adequately ventilated to outside air. Staircase leading to basement having smoke check lobby at basement and staircase leading from basement is segregated at ground floor and then diverted to upper floor, as shown on plans.

**THE DETAILS OF LIFTS:**

Lifts Type	Profile	Nos. of lifts
Passenger lift	Leading from Basement floor to 18 <sup>th</sup> floor.	06 Nos.

One of the lift from lift bank shall be converted into fire lift as per norms The lift lobby and common corridors at each floor level is adequately ventilated to outside air, as shown in the plan.

Refuge area is provided Building at 4<sup>th</sup>, 9<sup>th</sup> & 14<sup>th</sup> floor as follows.

Location of refuge area	Height from ground level (Mtr)	Provided refuge area (Sq.mtrs)
4 <sup>th</sup> Floor	23.85	98.73
9 <sup>th</sup> Floor	39.35	98.73
14 <sup>th</sup> Floor	54.85	98.73

In addition to this, terrace floor above 18<sup>th</sup> floor will be treated as Refuge Area.

The proposal has been considered favorably taking into consideration the following:-

- i) The Architect has also been directed to provide alternate source of power supply for fire-fighting systems from a D.G. set.
- ii) The Architect has also been directed to provide Automatic sprinkler system in entire building including each room of each flat.
- iii) The Architect has also been directed to provide Automatic smoke detection system in electric meter room & in lift machine room.



- iv) The lift lobby / common passage are ventilated to outside air. This will facilitate speedy egress of smoke.
- v) During construction stage and before the final occupation party agreed to comply additional requirement stipulated by VVCMC Fire Brigade Officer, if any.

#### **CONTROL FIRE BY CONSTRUCTION:-**

Fire Resistance Barriers such as walls, partition and floors, separate building spaces. These barriers also delay or prevent fire from propagation from one place to another in addition, barriers are important features in any fire fighting operation because they dictate the size of fire.

The effectiveness of a depends upon its inherent fire resistance construction and its penetration. Use of flame retardant paints, fire stop barriers, firewalls, fire doors and windows. Other few methods for controlling the fires by construction in building. Use of new fire resistive coating materials and technologies for limiting the spread of fire within the building, and use of fire resistant steels and concretes should be done while construction of high rise buildings.

#### **1. ACCESS:-**

- i) No compound wall shall be provided on Road side; however bollards with link chain may be permitted.
- ii) All access & fire tender access should be free of encumbrances.
- iii) **Entrance gate if provided shall be of not less than 6.00 meters width each shall be provided, at locations marked on the plan. Archways, if any over the entrance gates, shall have height clearance of not less than 6.00 mtrs.**

#### **2. COURTYARDS:-**

- i) The available courtyards on all the sides of the building including R.G. area shall be paved suitably to bear the load of fire engines weighting up to 48 M. tones each.
- ii) All the courtyards shall be in one plane.
- iii) No structure of any type shall be permitted in courtyards of the building.
- iv) The courtyards shall be kept free from obstruction at all times.

#### **3. CAR PARKING:-**

- i) Car parking shall be permitted in the designated area.
- ii) Drainage of the car parking area of all the levels shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trapped before connecting the building drainage or Municipal drainage.
- iii) Drainage of the car parking areas at all the levels shall be so laid as to prevent any overflow in the staircase, lift shaft etc.
- iv) The parking area shall not be used for dwelling purpose & repairing / maintenance purpose, at any time. Dwelling use of naked light/flame, repairing /maintenance of vehicles shall be strictly prohibited in the parking area.
- v) Repairing / servicing of cars, use of naked light shall not be permitted in the car parking areas.
- vi) The drive way shall be properly marked & maintained unobstructed
- vii) The Automatic Sprinkler System provided to the entire car parking area.

#### **4. PODIUM / CAR PARKING FLOORS:-**

- i) All the sides of the stilted / covered car parking shall be kept open except parapet walls of not more than 0.75 meters height.
- ii) Automatic sprinkler system to the entire parking floor & drencher system on the top of each podium floor shall be provided.
- iii) The driveways shall be properly marked and maintained unobstructed, proper illuminated signage shall be provided for escape route, ramps etc at prominent location.
- iv) **The top of the podium shall bear the load of fire engines weighing upto 48 m. tones each with point load of 10 kgs./sq. cms.**

#### **5. BASEMENT:-**

- i) Each basement shall be separately ventilated. Vents with cross, sectional area (Aggregate) not less than 2.5 percent of the floor area spread evenly around the perimeter of the basement shall be provided in the form of grills or breakable stall boards lights or pavement lights or by way of shafts. Alternatively, a system of air inlets shall be provided at basement floor level and smoke outlets at basement ceiling level. Inlets and outlets may be terminated at ground level with stall boards or pavement lights as before but ducts to convey fresh air to the basement floor level shall have to be laid. Stall boards



and pavement lights should be in position easily accessible to the fire Brigade personal and rescue teams and clearly marked 'SMOKE OUTLET' or 'AIR INLET' with an indication of area served at or near the opening.

- ii) The basements shall be used for designated purpose only as shown in the plan.
- iii) The basement shall be provided with natural ventilations through the ventilators, open cut outs as shown in the plan.
- iv) The staircases of the basement shall be of enclosed type and entry to basement areas shall be through two hours fire resistance self-closing door provided in the enclosed wall of the staircase and through smoke check / cut off lobby. The smoke check/ cut off lobby shall be mechanically pressurized.
- v) Mechanical ventilation shall be provided to the basement with 15 air changes per hour with an arrangement to accelerate the rate of air changes to 30 per hour in the event of a fire emergency.
- vi) The ducts of the mechanical ventilations system shall be of substantial metal gauge as per the relevant I.S. standard.
- vii) Basement area shall be divided in compartments as per rule.
- viii) The operating switches of the mechanical ventilation shall be located in the fire control room with appropriate zonal indications.
- ix) Exhaust duct shall be provided to draw out exhaust at ground level of the basement.
- x) Suitable signage's shall be provided in the basement showing exit direction, way to exits etc.
- xi) Automatic sprinkler system shall be provided in basement area /including ramp. These systems shall be installed as per the standard laid down by T.A.C. and relevant I.S. specifications
- xii) Smoke off lobby, Staircases, common passages & escape routes of the entire building shall be painted with fire retardant paint.
- xiii) Staircase and lift lobby shall have illuminated by inverter operated exits signs with IP 54 enclosure. Luminance of the signage's shall be such that they are visible from a distance of 12 to 16 meters.
- xiv) The staircase of the basement & the associated lift lobbies shall be pressurized in the event of fire. The pressure in this enclosed staircase and enclosed lift lobbies shall be maintained not less than 5m.m. W.G. & 2.5 mm W.G. for lift lobbies.
- xv) CO Detector with audible alarm system shall be provided to all the basement areas and the circuit of the same shall be given / connected to mechanical ventilation system to start automatically on actuation of CO detector and the other detectors provided in the basement.
- xvi) Ventilation system shall start automatically on actuation of detector provided in the basement area.
- xvii) Exhaust duct, mechanical ventilation duct should not pass through exit or entry.

## 6. STAIRCASE :-

- i) The flight width of staircases shall be maintained as shown in the enclosed plans.
- ii) The layout of staircases shall be enclosed type as shown in the plan throughout its height and shall be approached (gained) at each floor level at least two hours fire resistant self closing door (45 mm. thickness) placed in the enclosed wall of the staircase.
- iii) **Internally located staircases & lobbies shall be pressurized.**
- iv) **Permanent vent at the top equal to 5% of the cross sectional area of the staircase shall be provided.**
- v) Openable sashes or R.C.C. grills with clear opening of not less than 0.5 sq.mtrs. per landing on the external wall of the staircase shall be provided.
- vi) No combustible material shall be kept or stored in staircase / passage.
- vii) **Internal staircases shall be no combustible material.**

## 7. ELECTRIC CABLE SHAFT AND ELECTRIC METER ROOM:-

- i) Electric cables shall not pass through the staircase walls or shall be taken in concealed manner.
- ii) Inspection door for the shaft shall have two hours fire resistance.
- iii) Electrical shafts shall be sealed at each floor level with non-combustible material such as vermiculate concrete.
- iv) Electric meter room / panel provided at ground floor level at location marked on the plan. It shall be adequately ventilated.
- v) Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire building with provision of ELCB / MCB.
- vi) Electric shaft shall be painted with fire retardant intumescent paint.



**8. ESCAPE ROUTE FROM FLAT TO STAIRCASE :- (Corridor/Lift Lobby)**

Corridor / lift lobby at each floor level shall be ventilated to outside air, as shown on the plan. The ventilation to lift lobby shall not be blocked, covered or obstructed at any time.

**9. CORRIDOR / LIFT LOBBY :-**

- i) Corridor / lift lobby at each floor level shall be naturally ventilated / **pressurized**.
- ii) The common corridor / lift lobby at each floor level shall be kept free from obstructions at all times.
- iii) Proper signages for way to staircase, escape routes, staircase, floor nos. etc. shall be provided at each floor of building.
- iv) Portable lights / insta lights shall be provided at strategic locations in the staircase and lift lobby

**10. STAIRCASE AND CORRIDOR LIGHTINGS:**

- i) The staircase and corridor lighting shall be on separate circuits and shall be independently connected so that they could be operated by one switch installation on the ground floor easily accessible to fire fighting staff at any time irrespective of the position of the individual control of the light points, if any.
- ii) Staircase and corridor lighting shall also be connected to alternate supply.
- iii) Double throw switches should be installed to ensure that lighting in the staircase and the corridor do not get connected to two sources of supply simultaneously. A double throw switch shall be installed in the service room to terminate the stand-by-supply.
- iv) Emergency lights shall be provided in the staircases/corridors.

**11. FLAT ENTRANCE, KITCHEN DOORS & EXIT / ENTRANCE STAIRCASE:-**

- i) Flat entrance and kitchen doors if any shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness.)
- ii) The fire resistance rating for staircase F.R.D., Lift lobby / protected lobby & the lift doors as per N.B.C. provisions.

**12. ELECTRIC CABLE SHAFT AND ELECTRIC METER ROOM :-**

- i) Electric cable shafts shall be exclusively used for electric cables and should not open in staircase enclosure.
- ii) Inspection doors for shafts shall have two hours fire resistance.
- iii) Electric shafts shall be sealed at each floor level with non combustible materials such as vermiculite concrete. No storage of any kind shall be done in electric shaft.
- iv) Electric wiring/ cable shall be non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
- v) Electric meter room shall be provided at ground floor level. It shall be adequately ventilated & easily accessible.
- vi) Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire bldg., with the provision of ELCB/MCB. Low and medium voltage wiring running in shaft and in false ceiling should run in separate conduits.
- vii) Water mains, telephone lines, intercom lines, gas pipes or any other service line should not be laid in the duct for electrical cables; use of bus bar/solid rising mains instead of cables is preferred.
- viii) Separate circuits for fire fighting pumps, lifts, staircases and corridor lighting and blowers for pressurizing system shall be provided directly from the main switch gear panel and these circuits shall be laid in separate conduit pipes, so that fuse in one circuit will not affect the others. Such circuits shall be protected at origin by an automatic circuit breaker with its no-volt coil removed.
- ix) Master switches controlling essential service circuits shall be clearly labelled.

**13. ESCAPE ROUTE FROM FLAT TO STAIRCASE :- (Corridor/Lift Lobby)**

Corridor / lift lobby at each floor level shall be ventilated to outside air, as shown on the plan. The ventilation to lift lobby shall not be blocked, covered or obstructed at any time.

**14. FALSE CEILING (if provided):**

False ceiling if provided in the building shall be of non combustible material. Similarly, the suspenders of the false ceiling shall be of non combustible materials.



## **15. MATERIALS FOR INTERIOR DECORATION/FURNISHING**

The use of materials which are combustible in nature and may spread toxic fume / gases should not be used for interior decoration/furnishing, etc.

## **16. FIRE LIFT AND OTHER LIFTS :-**

- i) Walls enclosing lift shaft shall have a fire resistance of not less than two hours.
- ii) Shafts shall have permanent vent of not less than 0.2 sq. mtrs in clear area immediately under the machine room.
- iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv) One lift in wing A, one lift in each lift bank in wing B as well as wing C shall be converted into fire lift and shall be as per specifications laid down under the regulations.
- v) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency and the directly accessible to each floor.
- vi) The lift shall have a floor area of not less than 1.4 sq. mtrs. with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545 k.g. (8persons lift) with automatic closing doors.
- vii) There shall be an alternate electric supply of an adequate capacity apart from the electric supply the building and the cables run in a route safe from fire, i.e. within the lift shaft. In case of failure normal electric supply, it shall automatically trip over to alternate supply.
- viii) The operation of fire lift should be by a simple toggle or two button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
- ix) The words 'Fire lift' shall be conspicuously displayed in florescent paint on the lift landing door at each floor level.

## **17. SMOKE MANAGEMENT SYSTEM:-**

- i) Escape routes like staircase, common corridor, lift lobbies, etc. shall not be used as return air passages.
- ii) Direct expansion system shall not be used.
- iii) The ducting shall be constructed of substantial gauge/metal in accordance with IS: 655:1963 metal air duct(devised).
- iv) Wherever the ducts pass through fire walls or floors, the opening around the ducts shall be sealed with fire resisting material such as vermiculite concrete or glass wool. A.C. ducting shall not pass through staircase wall.
- v) As far as possible metallic ducts shall be used even for return air instead of space above false ceiling.
- vi) The material used for insulating the ducts (inside or outside) shall be of non combustible type such as glass wool or spun glass with neoprene facing etc.
- vii) A.H.U.s shall be provided of adequate size and shall be separate for each floor and air ducts for each floor/each theatre shall be separate and in no way inter connected with the ducting of any other floor.
- viii) Automatic fire dampers shall be provided at the inlet of fresh air duct and the return air duct of each compartment on every floor. They shall be so arranged as to close by gravity in the direction of air movement and to remain tightly closed upon operation of a smoke detector.
- ix) Air filters of A.H.U.s shall be of non combustible material.
- x) A.H.U.room shall not be used for storage of any combustible material and shall be provided with half an hour fire resistance door.

## **18. ESCAPE ROUTE LIGHTING :-**

Escape route lighting (staircase and corridor lights) shall be on independent circuits as per rules.

## **19. FLATS ENTRANCE AND KITCHEN DOORS :-**

Flat entrance and kitchen doors shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness).



**REQUIREMENT & PROVISIONS:-** The Following active fire protection system will be required to the safety of the buildings (Residential Cum Commercial Building) :-

SL	FIRE FIGHTING INSTALLATION	REQUIREMENTS	PROVISION	REMARKS
1	<b>PORTABLE FIRE EXTINGUISHER</b>	Required at all Basement, Electric meter Room, Lift Machine Room, Every Floor & Prominent places of building	<b>IS: 2190 &amp; IS: 15683</b>	<p>a. Two Dry Chemical Powder (A.B.C.) type fire extinguisher of 6 kgs. Capacity having I.S.I. certification mark and two buckets filled with dry, clean sand shall be kept in Electric meter Room as well as Lift Machine room.</p> <p>b. Dry Chemical Powder (A.B.C.) type fire extinguishers of 6 Kgs. Capacity having I.S.I. certification mark shall be kept at ground floor.</p> <p>c. One dry chemical powder type fire extinguishers of 5 kgs. Capacity having I.S certification mark shall be kept on each floor level.</p>
2	<b>HOSE REEL HOSE</b>	One each floor in the staircase landing for fire fighting. Hose reel shall be connected directly to risers/ down comer main and diameters of the hose reel shall not be less than 19mm with IS 884, 1985.		
3	<b>HOSE BOX</b>	15mtrs Flax RRL hose fitted with male & female coupling of 63mm dia with one nozzle shall be in separate hose box on alternate floor.		
4	<b>UNDERGROUND WATER STORAGE TANK</b>	Required 200000 liters capacity.	An under ground water storage tanks each of 200000 liters capacity shall be provided at location marked on the plan, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. Both the tanks shall be interconnected	
5	<b>OVERHEAD WATER STORAGE TANK</b>	Required 25000 liters capacity	Tank of 25000 liters capacity shall be provided at the terrace level. The design and layout shall be got approved from H.E."s department prior to erection. The tank shall be connected to the wet riser through a booster pump through a non-return valve and gate valve.	
6	<b>WET RISER</b>	Required in all staircase	Wet riser of internal dia. of 15 cms. of G.I. 'C' Class pipe shall be provided in the duct adjoining the staircase with double hydrant outlet & hose reel at each floor in such a way as not to reduce the width of the common corridor. Pressure reducing discs or orifices shall be provided at lower level, so as not to exceed the pressure of 5.5 kgs. per sq. cms. A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provide to connect the mobile pump of the fire service to the wet riser. Fire service inlet shall be provided to refilled U.G. tank, to feed riser system by passing the fire pump & to feed sprinkler system. The wet risers shall be extended from ground floor up to topmost floor/terrace level.	





SL	FIRE FIGHTING INSTALLATION	REQUIREMENTS	PROVISION	REMARKS
7	<b>AUTOMATIC SPRINKLER SYSTEM</b>	Required at each habitable room, all Basement, podium parking floors and lift lobby and common corridor at each floor level & Prominent places of building	standard laid down by T.A.C. and relevant I.S. specifications.	Automatic sprinkler system shall be provided in entire building including each habitable room, all Basement podium car parking areas and lift lobby and common corridor at each floor level. The automatic sprinkler system shall be installed as per the standard laid down by T.A.C. and relevant I.S. specifications.
8	<b>FIRE PUMP, BOOSTER PUMP, SPRINKLER PUMP AND JOCKEY PUMP</b>	<p>i) Wet riser shall be connected to a fire pump at ground level of 2850 litres / min capacity giving a pressure of not less than 3.2 kgs / sq.cms. at the topmost hydrant along with jockey pump of a suitable size.</p> <p>ii) Booster pump of capacity of 900 liters / min. having a pressure of not less than 3.2 kgs. / sq.cms. at the hydrant outlets of the wet riser-cum-down comer shall be provided at the terrace level of the building.</p> <p>iii) An independent sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.</p> <p>iv) Control panel / operating switches shall be located on ground floor.</p> <p>v) Electric supply (normal) to these pumps shall be on independent circuit.</p> <p>vi) One stand by pump of same capacity fire pump</p> <p>vii) Installation of negative section arrangement and submersible pump shall not be allowed.</p> <p>viii) Fire pumps shall be provided with soft starter or variable frequency drive starter</p>		
9	<b>EXTERNAL HYDRANTS</b>	courtyard hydrants shall be provided within the confines of the site of the wet riser-cum- down comer at the location marked on the plan.		
10	<b>ALTERNATE SOURCE OF POWER SUPPLY</b>	An alternate source of L.V. / H.V. supply from separate substation or through D.G. set with appropriate change over switch shall be provided for fire pumps, booster pump, staircase and corridor lighting circuits and manual fire alarm system. It shall be housed in a separate cabin.		
11	<b>FIRE ALARM SYSTEM</b>	The building shall be provided with manual fire alarm system with main control panel at ground floor level and pill-boxes and hooters at each upper floor level. The layout of fire alarm system shall be in accordance with I.S. specification.		
12	<b>AUTOMATIC SMOKE DETECTION SYSTEM</b>	Required in all Basement, Electric meter room, common corridor at each floor level & lift machine room & prominent places of Building	Automatic smoke detection system with main console panel at ground floor level shall be provided in Electric meter room, common corridor at each floor level & lift machine room as per the standard laid down by T.A.C. or relevant I.S. specification.	
13	<b>RATE OF RISE DETECTORS</b>	Rate of rise detectors shall be installed in the hot areas i.e. kitchen, pantry, etc. and same shall be connected to main console at ground floor level.		
14	<b>SIGNAGE'S</b>	Self glowing / fluorescent exit signs in green color shall be provided showing the means of escape for the entire building.		
15	<b>SIAMESE CONNECTION</b>	One Siamese connection (2 way) shall be provided at entrance gate of building.		
16	<b>PUBLIC ADDRESS SYSTEM</b>	The entire building shall be provided with public address system having console panel at ground floor level and it shall have battery back-up.		





Fire Under Ground water storage tank (UG) / Overhead (Terrace) water storage tanks should exclusively for fire fighting application. The tank liquid volume is as per capacities mentioned in provisional NOC from this department excluding Free Board (FB) of tanks. Proper space should be provided for the fire duct & a provision of working platform (working platform is most important for fire system maintenance) within is must. The pump room with positive suction is important norm from NBC 2016 part 4 Life & Safety & should be strictly adhered with.

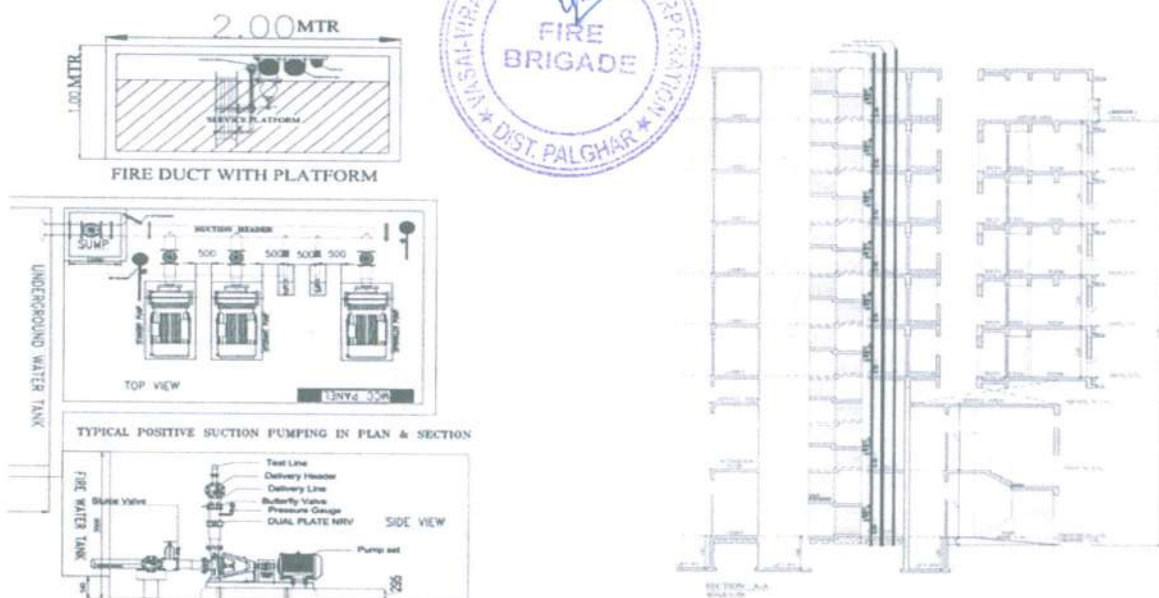
In case of a high-rise building having 2 enclosed type staircases, the position of staircase shall be planned as such that both staircases are positioned in opposite site to each other and should be connected by passage of minimum width of 1.50mtr.

This department issues the provisional NOC at the beginning of the new site work. The Developers / Owners / Occupiers should take the good care of the possible provisions mentioned in provisional fire NOC. The Developers / Owners / Occupiers should contact of fire license agencies operating in this area or else should search on Maharashtra Fire Services (MFS) web site [www.mahafireservices.gov.in](http://www.mahafireservices.gov.in) to interpret the provisional fire NOCs as far as civil and other provisions are concerned.

Developers / Owners / Occupiers should abide the Maharashtra Fire Prevention & Life safety Measures Act 2006 especially regarding the compliance of the fire prevention and life safety measures in form "A" or maintenance thereof in good repair & efficient condition in form "B" on January & July of every year.

All the affidavits, Undertaking, Declaration submitted for Final NOC/ Renewal NOC shall be made on Rs. 500/- stamp paper, and shall have a Notary before me stamp along with serial number and date.

For reference & necessary action, typical diagrams for Fire Duct, Positive suction pump room are enclosed.



## 20. REFUGE AREA:-

- i) The layout of the refuge area shall not be changed / modified at any time in future.
- ii) Refuge area shall be provided with railing / parapet of 1.10 meters height on external sides and shall be of sound construction.
- iii) Refuge area shall be segregated by brick masonry partition wall of 9" thickness or concrete block wall of 6" thickness and access to refuge area shall be gained through half an hour fire resistance self closing door.
- iv) There shall not be any opening in to the refuge area from any portion of the occupied premises.
- v) Refuge area shall be earmarked exclusively used for the use of occupants as temporary shelter and for the use of Fire Brigade department or any other organization dealing with fire or other emergencies when they occur in the building and also for exercises / drills, if conducted by the Fire Brigade department.
- vi) Refuge area shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner / occupier to maintain the same clean and free of the encumbrances and encroachments, at all times.
- vii) Entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning "**REFUGE AREA IN CASE OF EMERGENCY**".
- viii) Adequate drinking water facilities shall be provided in the refuge area.
- ix) Adequate emergency lighting facility connected to electric circuits of staircase / corridors lighting shall be provided in the refuge area.



Terrace shall be treated as refuge area and shall be provided as under:-

- i) The entrance door to the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning " REFUGE AREA IN CASE OF EMERGENCY ".
- ii) Adequate drinking water facility shall be provided in the refuge area.
- iii) Adequate emergency lighting facility connected to the electric circuit to the staircase, corridor / passage etc. lighting shall be provided.

**21. LIGHTENING ARRESTOR :-**

Each structure should have lightening arrestor system carried out by licensing electrical contractor authorized by Maharashtra State PWD- Electrical cell.

**22. TREE CUTTING:- (IF ANY)**

Trees falling before entrance gates and Refuge areas trees falling within the compulsory open space / courtyard if any shall be either transplanted or to be cut as may be found feasible by the Supdt. of Garden.

The other provisions of D.C. Rules of V.V.C.M.C & N.B.C part IV, 2016 should be strictly followed.

The Chief Fire Officer reserves rights to amend any additional recommendations deemed fit during the final inspection due to the statutory provisions amended from time to time and the interest of the protection of structure.

The party has paid Capitation & scrutiny Fees of Rs.21,00,000/- vide Receipt No.30696, Book No. 307, DD. No. 099899, (Vasai Vikas Sahakari Bank), Dated:21/04/2022 & Rs.24,200/- vide Receipt No.30696, Book No.307, DD.No.099897 (Vasai Vikas Sahakari Bank), Dated:21/04/2022.

However, D.D.T.P. is requested to verify the total built up area and inform this Department for the purpose of levying additional Capitation fee.

Before starting work of Fix Fire Fighting Installation such plan should approved from under signed authority.



A handwritten signature in blue ink, appearing to be "D. Patil".

**CHIEF FIRE OFFICER  
VASAI VIRAR CITY MUNICIPAL CORPORATION**

Copy to Architect- 1) M/s-En Con Project Consultants  
Developer 2) M/s- Shree Varad Builders & Developers LLP

Note: - As per the fire Prevention and Life Safety Measures Act the fire fighting Installation work has to be carried out by licensing fire contractor authorized by Director of Maharashtra fire services only. The list of the License Agencies is available on [www.maharashtrafireservice.org](http://www.maharashtrafireservice.org) or [www.mfsindia.org](http://www.mfsindia.org).

Ref.No.1898 & 1892A/VP-5819 & 5806/24

Date: 05-12-2022

To,  
The Member Secretary (SEIAA),  
217, Annex Building  
Mantralaya  
Mumbai -400032.

Subject : Architect Certificate for proposed Residential with shopline Project on plot bearing S.No. 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 of Vill- Chulne, Vasai (W), Palghar

Sir,

We, M/s. En-Con, Architect certify that M/s Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises has obtained building permission on plot area admeasuring 7190.00. sq mts for total proposed construction area 8207.30 sq mts including Non FSI area 5517.52 sq mts as per old DCR.

However, in respect to plot potential; permissible construction area was 18050.61 sq mts including FSI area 9279.26 sq mts (FSI: 1.0 + 1.40 TDR). Hence, the potential of plot with respect to permissible FSI was less than 20,000 sq mts prior to applicability UDCPR.

Now, the potential of plot area 8073.00 sq.mt for permissible built up area is exceeding from 20,000 sq mts as per new UDCPR 2020. Hence Proposed construction area increasing from 18508.61 sq mts to 28720.66 sq.mt and now PP approach to obtain environmental clearance.

We inform you that we had initiated excavation of building as per approved plans; However, we have stopped the construction activity at site.

Contd...page 2

Page 2

Ref.No.1898 & 1892A/VP-5819 & 5806/24

The break of FSI and Non FSI as per Vasai Virar City Municipal Corporation vide order no VVC/MC/TP/CC/VP-5806 & 5819/129/2020-21 dated 10-12-2020 as follows

#	Particular	Area in sq.mt
1.	Plot Area	7190.00
2.	Net Plot Area	4124.12
3.	Plot Area for FSI Calculation	3505.50
4.	Permissible FSI Area including TDR	9279.26
5.	Total Permissible construction area	18050.61
6.	Proposed FSI Area	2884.78
7.	Proposed Non FSI Area	5517.52
8.	Proposed Construction area (7+8)	8207.32

We hereby certify that construction any carried on the ground by the developer is nil sq mt till date of SEIAA hearing and in accordance with the sanction from Vasai Virar City Municipal Corporation vide order no VVC/MC/TP/CC/VP-5806 & 5819/129/2020-21 dated 10-12-2020.

Thanking you,  
Yours faithfully,  
For En-Con

SHABBIR M. HUSSAIN  
B. ARCH  
Architect  
REG. NO. CA/080/26127

100%  
Satisfied  
Satisfied  
EIA Coordinator

For Shree Varad Builders and Developers LLP  
Hetal's  
Designated Partner



## SOLAR PANEL DETAILS

Maximum Demand	1118	KW
Total Terrace Area	750	Sq.m
Area available for pv system	550	Sq.m
Details SPV Panel for lighting		
Area for SPV panel sq.meter (0.330 KW)	2	Sq.m
No. of solar pv panels provided	170	No's
Total Electricity generated	56.1	KW
Terrace Area Required For SPV panel	545	Sq.m
Energy Saving by SPV Panels in %	5.01	%
Total energy saving by non conventional method	18.51	%



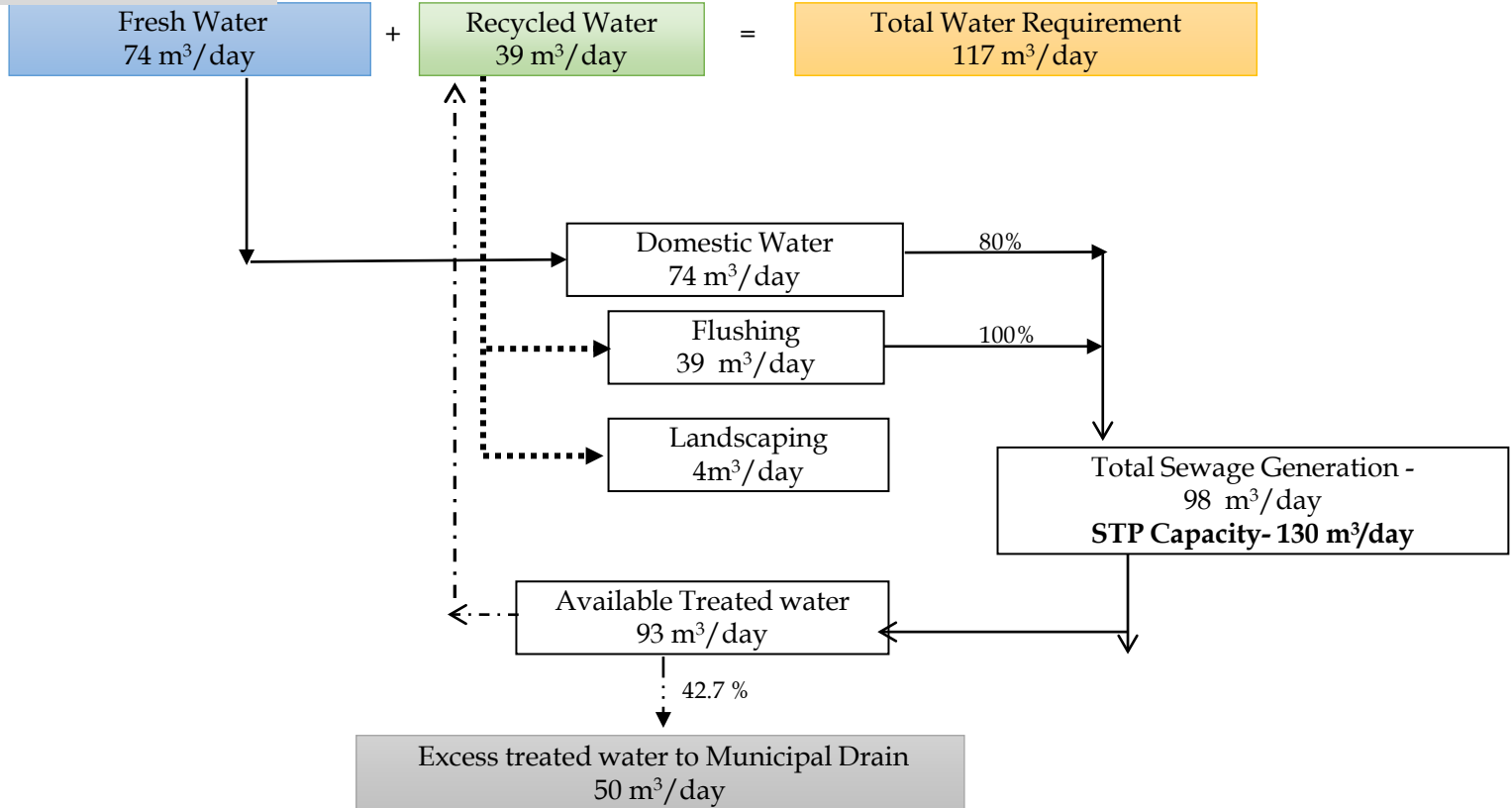
## WATER REGIME

Sr. No.	Particulars	TOTAL
1.	Total population (Nos.)	844
2.	Domestic water (KLD)	74
3.	Flushing water (KLD)	39
4.	Landscape water (KLD)	4
5.	Total water demand (KLD)	117
6.	Total sewage generation (KLD)	98
7.	Total capacity of STP (KLD)	130
8.	Total Water available after Treatment (KLD)	93
9.	Total Excess treated Water	50

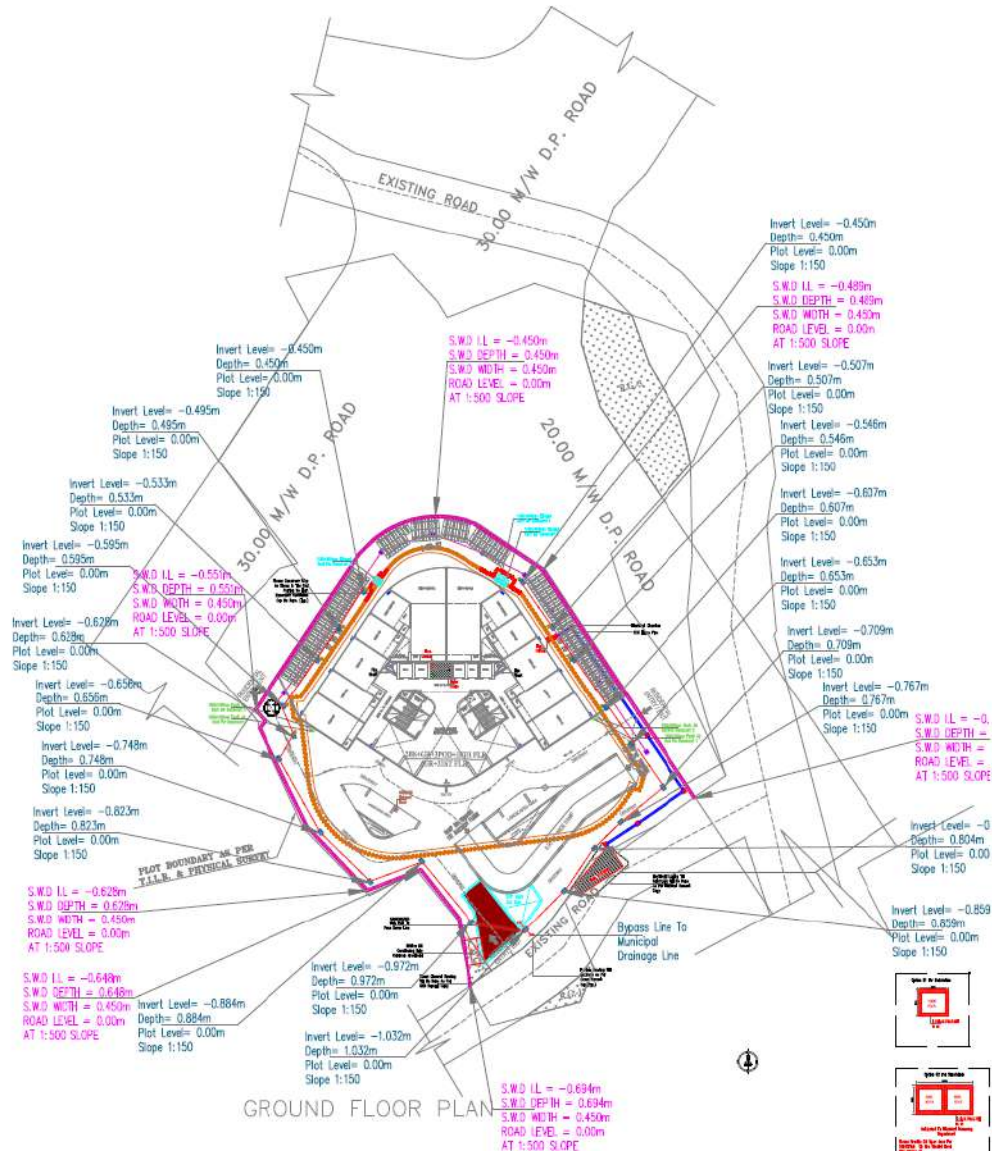
# WATER BALANCE CHART

Source - VVCMC & STP Recycled Water.


## During Dry Season



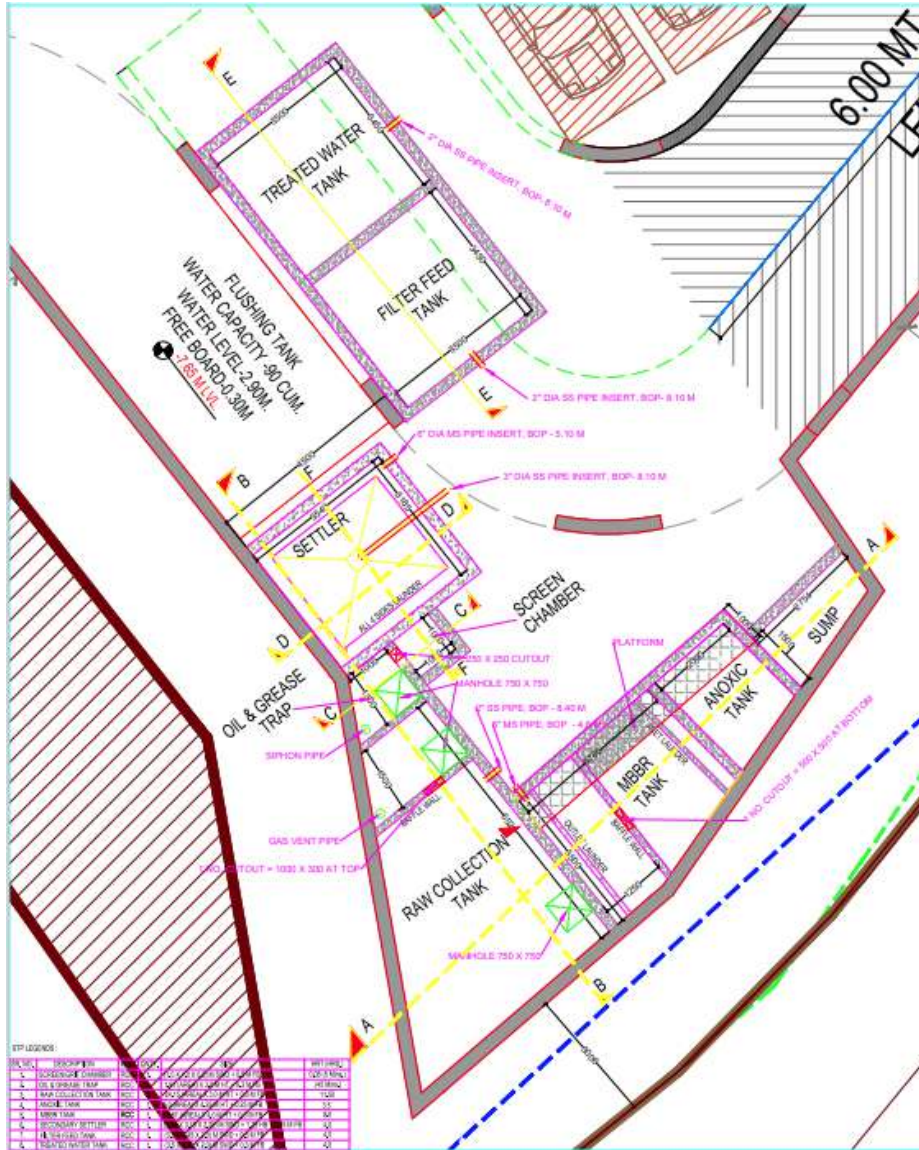
# SEWERAGE NETWORK LAYOUT



 Sewerage Network Layout

 Storm water Network Layout

# STP LAYOUT



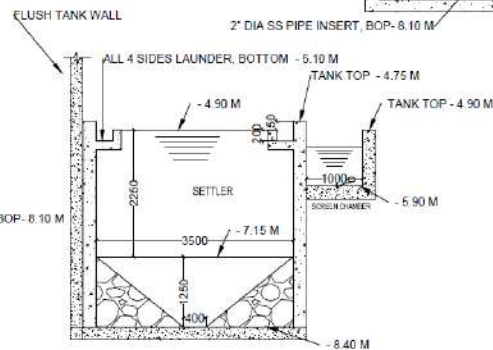
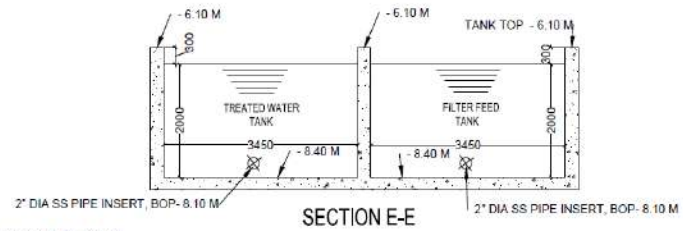
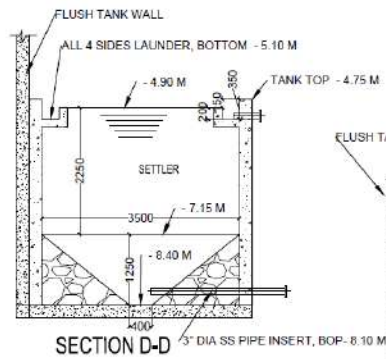
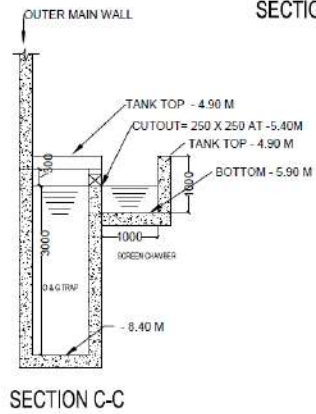
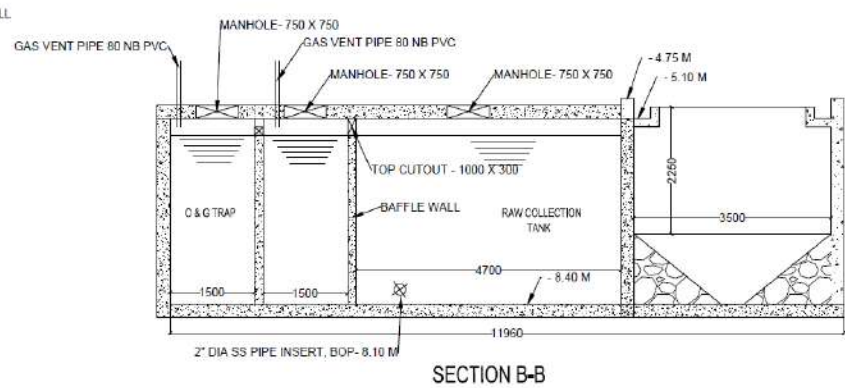
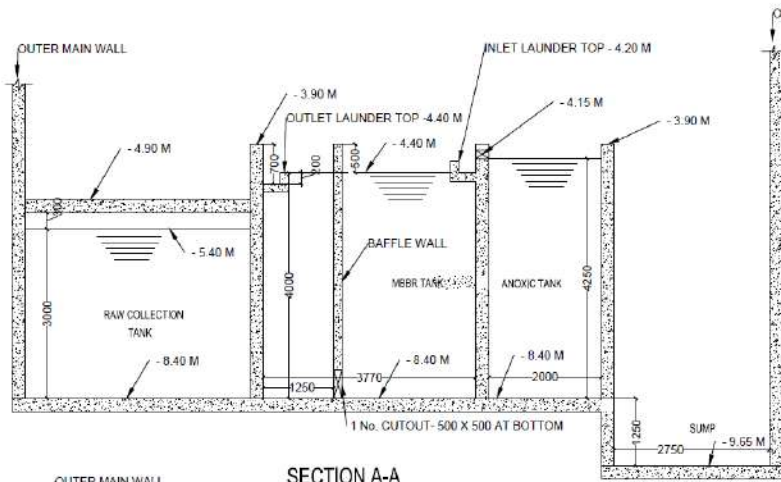
## CHARACTERISTICS OF TREATED WATER

Parameter	Unit	Final outlet of STP
pH	-	7.0 - 8.5
Turbidity	NTU	< 2
Oil and Grease	mg/L	< 10
Suspended Solids	mg/L	< 10
COD	mg/L	< 30
BOD	mg/L	< 10
Ammonia (as NH <sub>3</sub> )	mg/L	< 01
Phosphates (as P),	mg/L	< 01
Nitrate	mg/L	< 01
Iron (as Fe)	mg/L	< 01
Fluoride (as F)	mg/L	< 01
Residual chlorine	mg/L	< 01
Faecal Coliform		<1 FC/100 ml



# STP SECTION

## SECTION 130 KLD STP



## STP UNIT DIMENSION

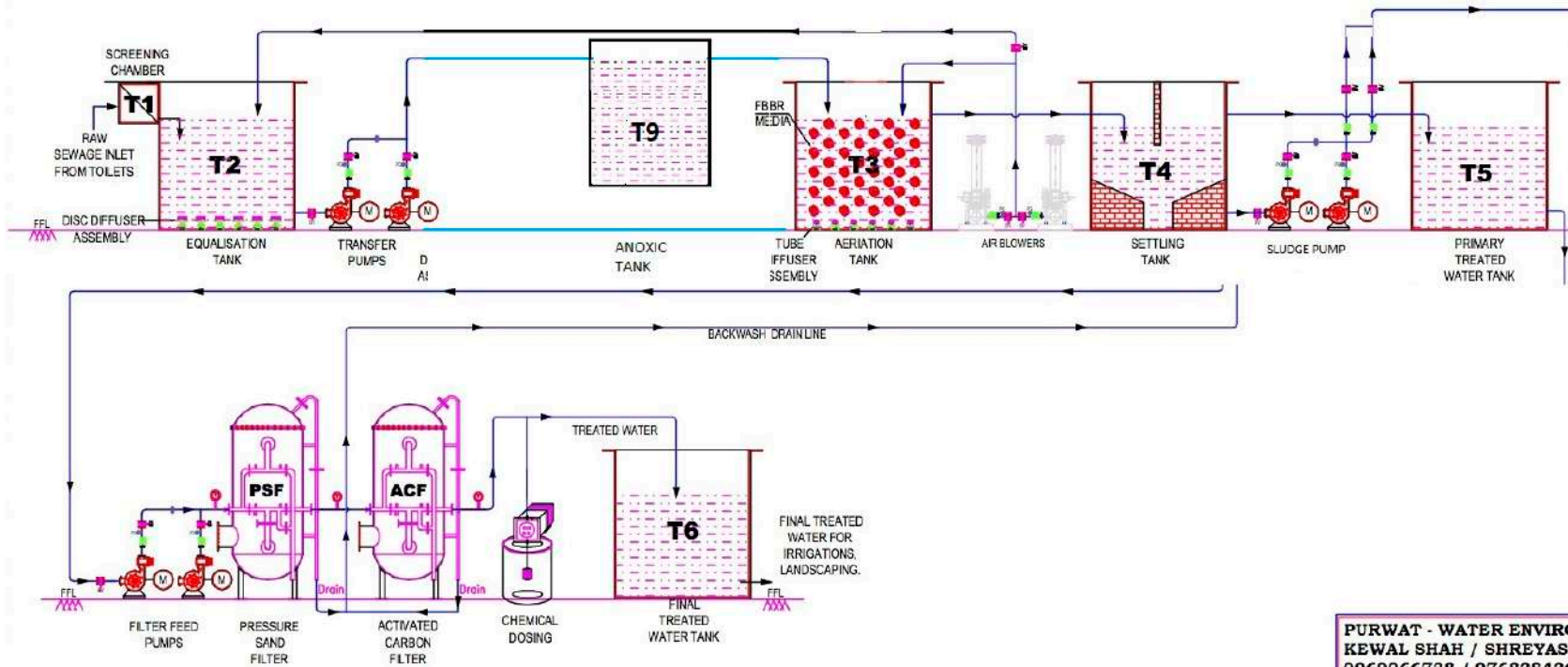
### LEGENDS:

SR. NO.	DESCRIPTION	MOC	QNTY.	SIZE
1.	SCREEN/GRIT CHAMBER	RCC	1.	(1.0 X 1.0 X 0.5) M SWD + 0.5 M FB
2.	OIL & GREASE TRAP	RCC	1.	1.91 (AREA) X 3.0 M HT + 0.3 M FB
3.	RAW COLLECTION TANK	RCC	1.	24.15 (AREA) X 3.0 M HT + 0.3 M FB
4.	ANOXIC TANK	RCC	1.	5.0 (AREA) X 4.25 M HT + 0.25 M FB
5.	MBBR TANK	RCC	1.	12.87 (AREA) X 4.0 M HT + 0.3 M FB
6.	SECONDARY SETTLER	RCC	1.	(3.54 X 3.18 X 2.25) M SWD + 1.25 HB + 0.15 M FB
7.	FILTER FEED TANK	RCC	1.	(3.5 X 3.45 X 2.0) M SWD + 0.3 M FB
8.	TREATED WATER TANK	RCC	1.	(3.5 X 3.45 X 2.0) M SWD + 0.3 M FB



# STP PROCESS & SCHEMATIC DIAGRAM

## SCHEMATIC DRAWING OF SEWAGE TREATMENT PLANT



PURWAT - WATER ENVIR  
KEWAL SHAH / SHREYAS  
9969966738 / 97683843

FOR SERVICE :  
CALL - 7738574976  
E - mail : water treatment8



# LANDSCAPE DETAILS

Description of Area	Details
<b>Net Plot Area</b>	3754.12
<b>RG Required</b>	Nil
R.G Provided	381.68 sq.mt
Tree in Miyawaki	50
<b>Trees proposed</b>	105
Total Nos. of Trees	1500
Existing Tree	Nil
Are under Miyawaki	24.68 Sq.m

NOS.	REQUIRED AREA SQMT	PROVIDED AREA SQMT
R.G.-1	--	27.95
R.G.-2	--	24.68
R.G.-3	--	329.05
TOTAL		381.68

## Miyawaki Plantation

S. No.	Scientific Name	Common Name	Height	Layer	Number
1.	<i>Eranthe mumrosium</i>	Aboli	0.5-1 m	Shrub	4
2.	<i>Bauhinia tomentosa</i>	Pivala Kanchan	1.5-2m	Shrub	4
3.	<i>Eranthemum nigrum</i>	Black Kodia	0.5 to 1 m	Shrub	4
4.	<i>Nerium oliander</i>	Kanher	0.5-1 m	Shrub	3
5.	<i>Platycladus orientalis</i>	Morpankhi	1 to 2 m	Shrub	3
6.	<i>Butea monosperma</i>	Palash - flame of forest	5.00 m	Sub Tree	4
7.	<i>Terminalia catappa</i>	Badam	3.00 m	Sub Tree	3
8.	<i>Crataevea adensonii</i>	Varun	6.00 m	Sub Tree	3
9.	<i>Bauhihia purpuria</i>	Kanchan	8 m	Tree	3
10.	<i>Saraca indica</i>	Sita Ashok	6-8 m	Tree	3
11.	<i>Cassia fistula</i>	Bahava	8 m	Tree	3
12.	<i>Nyctanthes arbortristis</i>	Parijat	10 m	Tree	3
13.	<i>Albizia lebbeck</i>	Shirish	12 m	Tree	3
14.	<i>Michelia champaca</i>	Sonchafa	8 m	Tree	3
15.	<i>Azadirachta indica</i>	Neem	15-20 m	Canopy	2
16.	<i>Lagerstroemia speciosa</i>	Tamhan- pride of india	30 m	Canopy	2
<b>Total trees</b>					<b>50</b>

## Planation at R.G/ Periphery

Sr. No	Name of the plant	Common Name	No
1	<i>Azadirachta indica</i>	Neem Tree	10
2	<i>Michelia champaca</i>	Son chafa	10
3	<i>Mimusops elengi</i>	Bakul	10
4	<i>Cassia fistula</i>	Bahava	10
5	<i>Saraca asoka</i>	Sita Ashok	10
6	<i>Embica officinalis</i>	Awla	05
7	<i>Butea monosperma</i>	Palash	08
8	<i>Moringa orifera</i>	Drum sticks	02
9	<i>Largerstomia speciosa</i>	Jarul	10
10	<i>Psidium guajava</i>	Peru	05
11	<i>Aegle marmelos</i>	Bel	05
12	<i>Manilkara zapota</i>	Chickoo	10
13	<i>Bauhinia purpurea</i>	Kanchan	05
14	<i>Pongamia Pinnata</i>	Karanj	05
15	<b>Total</b>		<b>105</b>

## BUDGETARY PROVISION FOR EMP

	<b>OPERATION PHASE</b>		
<b>Sr. No.</b>	Pollution Control & Other Environment Infrastructure	Capital Cost In Rs. Lakhs	Annual O & M Cost In Rs. Lakhs/annum
	<b>During Operation Phase:</b>		
<b>1</b>	Rain Water Harvesting	4.00	0.50
<b>2</b>	Sewage Treatment Plant	40.00	4.0
<b>3</b>	Low fixture Device	6.00	0.50
<b>4</b>	Organic Waste Composting	8.50	3.50
<b>5</b>	Landscape	1.50	0.6
<b>6</b>	Energy saving	30.0	2.50
<b>7</b>	Passage and lift lighting	<b>3.0</b>	<b>0.25</b>
<b>8</b>	Basement ventilation	<b>8.0</b>	<b>1.25</b>
<b>9</b>	EMP Cost	<b>101.0</b>	<b>12.60</b>
<b>10</b>	DMP	<b>80.0</b>	<b>4.0</b>
	<b>Total</b>	<b>181.0</b>	<b>16.60</b>



**CORRIGENDUM**

Please refer to public notice published in this newspaper on 11.03.2023 on page no.20 in respect of Shri Rajat Narindar Bedi in this notice Signature Name & Address wrongly mentioned. Please read Signature Name and address as M/s.A.N.S. Legal Services Advocates, D-10, Parle Colony, Sahakar Marg, Vile Parle (East), Mumbai 400 057. Other Details remains the same.

**CORRIGENDUM**

This has reference to the Court Notice Ad published on 09/03/2023 in Free Press Journal on page no.2 and Navshakti on page no.16 by Assst. Superintendent, Civil Court, J. D. Bhiwandi for the SPECIAL DARKHAST No.58/2022 in SPECIAL CIVIL SUIT No.285/2020 Exh. No.08 the name of 2nd Decree Holder was wrongly published as Mast. Atharv Abhijeet Joshi. The correct name shall read as Mast. Atharv Anagha Joshi. This is for information of all concerned.

**PUBLIC NOTICE**

Notice is hereby given that Mr Habibali Alarakhia Khunt, member of M.K.Heights co-op, Hsg.Soc Ltd Reg.no.2/WL/HSG/TC/9504/2006-2007, having address at opp.L-Ward cst Road Kuria (w) Mumbai-70 holding Flat no. 610-B-wing died on 06-06-2022 and his son, Nasirhusein Habibali Kisan, has applied for 100% share/membership of the society against the said flat That as per By-laws of the society hereby invites claims or objections from the heir or heirs or other claimant or claimants/objectors to the transfer of the said shares and intrest of the deceased member in the capital property of the society within a period of 15 days from the publication of this notice with copies of such documents and other proofs in support of his/her/their claims/objectors for transfer of share and intrest of the deceased member in the capital property of the society. If no claims/objectors are recieved within the period of prescribed above, the society shall be free to deal with the shares and intrest of the deceased member in the capital property of the society in such manner as is provided under the Bye-Laws of the society. Objectors shall give their written objections and contact secretary/ chairman of the society or the undersigned from the date of publication of the notice till the date of expiry of its period

For and on behalf of  
M.K. Heights co-op, Hsg.Soc Ltd  
Sd/  
Hon Secretary

**PUBLIC NOTICE**

NOTICE is hereby given on behalf of my clients that I am investigating the title of MR. MILAN CHAMPALAL JAIN & MR. AMIT SHANTILAL JAIN to the residential premises being (A) Flat No. 903 admeasuring 552 sq.ft. Carpet area and (B) Flat No. 904 admeasuring 518 sq.ft. carpet area both on the 9th floor of building known as "The Island" situated at Kashiba Mawrang Marg, Gamdevi, Mumbai-400 007 standing on land bearing CS. No. 1672 of Girgaon Division

All persons having any claim in respect of the above referred premises whether by way of sale, exchange, mortgage, charge, gift, trust, monument, inheritance, possession, lease, lien or otherwise howsoever are hereby requested to make the same known in writing to the undersigned hereof at 2nd Floor, Mantri Building, Opp. Girgaon Church, Girgaon, Mumbai-400 004 within 15 days of this notice, failing which, all such claim of such persons, if any, will be deemed to have waived and/or abandoned.

Dated this 14th day of March, 2023  
Mukesh Jain  
Advocate

**PUBLIC NOTICE**

I on behalf of my client Mrs. Khatija Gul Mohammed Mansuri And Gulam Moahmebrahm Mansuri, Vendor of property bearing Flat No. 1001 admeasuring 225. 18 Sq. Carpet area on the 10TH Floor in building known as Sana Co-op. Hsg. Society situated at 71, Huzaria Street, Nagpada, Mumbai-400 008 in the Byculla Division Ward in the Registration District and District of Mumbai City bearing Cad Survey No. 1189 and 1190 of Byculla Division in the registration District of Mumbai City Said Property is sold to Mrs. Khushi Mohammed Baharuddin Shaikh Agreement for Sale dated 01/03/2023 registration no. BBJ-1-1650-

My client have informed me that Agreement for Sale dated 05/06/2009 between M/s. Rubberwala Housing Infrastructure Ltd. (formerly known as Rubberwala Developers Private Limited) the Developers of the one part and Sakina Huseini Sakarwala as the P of the other part, duly stamped and registered (Registration No. BBE-1-3785-2009/05/06/2009)

Any person having any claims or respect of the said premises by inheritance, share, sale, license, gift, charge, possession, lease, assign, ownership, transfer, access, encumbrances howsoever or otherwise or having possession of the documents and/is hereby requested to make the same known in writing to the undersigned within 14 (Fourteen) days from the date of publication of this notice of his/her claim; if any, with all supporting documents, failing which, it will be assumed that no claims or issues in respect of the said premises.

Ko  
Advocate  
Flat No. 201, 2nd floor, Heave  
Jahnavi Nursing Home P  
Pakhadi Road, Malad West, Mur

**SOUTHERN RAILWAY**

**TENDER NOTICE**  
No. OT-96235064

Divisional Material Manager, Madurai Division, Southern Railway for and on behalf of The President of India invites E-Tender for the following supply as per detailed tender notice given in our e-tender portal [www.ireps.gov.in](http://www.ireps.gov.in). The tenderer(s) intending to apply need to get enrolled in the e-tender portal [www.ireps.gov.in](http://www.ireps.gov.in) and only online tenders will be accepted. All relevant credentials and supporting documents are to be uploaded along with the offer.

S.No. : 1, Tender No. : OT-96235064 Dt. 01.03.2023. Name of the work: Supply of 18 No's - 110 KV Single phase, Three winding, Oil filled, outdoor type Potential transformer ratings of (110 kv/3/110 V/3/110V/110V/3), Closing date and time : 28.03.2023 at 14.30 hrs.

Senior Divisional Electrical Engineer / TRD / Madurai

Follow us on [twitter.com/GMSRailway](https://twitter.com/GMSRailway)

**PUBLIC NOTICE**

We, M/s. Shree Varad Builders AND Developers LLP, hereby bring to the kind notice of general Public that Environment Department, Government of Maharashtra has been accorded in Environmental Clearance for proposed Residential with Shop line project at Old Survey no. Project at S.No. 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 Village:- Chulne, Tal:- Vasai (W), Palghar, vide letter dated 28th February 2023 bearing file No. SIA/MH/MIS/260153/2022, EC Identification No. EC23B038MH146038. The copies of the clearance letter are available with Maharashtra Pollution Control Board and may also be seen on the Website of the Department of Environment, Government of Maharashtra at <http://parivesh.nic.in/>. M/s. Shree Varad Builders AND Developers LLP, Shree Mahalaxmi Enterprises.

**PUBLIC NOTICE**

Notice is hereby given that my clients Mr. S R Dalvi & others are negotiating to purchase the property belonging to (1) Mr. Rakesh Chandrakumar Jain & (2) Mrs. Nikisha Rakesh Jain which is more particularly described in the schedule hereunder written. Any person/entity having any claim to or against the said property or any part thereof by way of lease, sub-lease, tenancy, license, sale, exchange, arrangement, mortgage, gift, trust, inheritance, bequest, possession, lien, charge, maintenance, easement, development agreement, joint-venture, partnership, etc., and any person in possession of the original title deeds or otherwise, howsoever is hereby required to make the same known in writing with the documentary proof thereof to the undersigned at B-404, B Wing, Jai Hanuman Nagar, Opp. Kamgar Stadium, Senapati Bapat Marg, Mumbai-400028 within 14 days from the date hereof otherwise the negotiations will be concluded and sale, transfer and/or assignment of the said property shall be completed without any reference to such claim or interest and the same, if any, shall be deemed to have been waived to all intents and purpose.

**THE DESCRIPTION OF THE PROPERTY:**

Flat No. A-3402, admeasuring about 1611 Sq. Ft. Carpet area on 34th Floor of A Wing in the Building known as World View in the Project 'The World Tower', situated at Senapati Bapat Marg, Lower Parel, Mumbai - 400013, along with Two Car Parking Spaces No. P5476 & P11147, constructed on land bearing Cadastral Survey No. 443, 444, 445 & 446 in Lower Parel Division in District Mumbai City.

Advocate Tejas Kirti Doshi 022-24365577 Place: Mumbai, Date: 14th-March-2023

**PUBLIC NOTICE**

Notice is hereby given that Late Naresh Kachala owner of Flat No. B-104, Gurimanak Apartment Co-op. Hsg. Soc., Ltd., Shankar Lane, Kandivali (West), Mumbai 400 067 expired on 24/08/22. On behalf of my client, Mrs. Nikita Mitul Bhayani daughter of deceased, the undersigned advocate hereby invites claims from other heirs or claimant/s or objector/s for the transfer of the shares and interest of the deceased member in the said flat within a period of 14 days from the publication of this notice, with copies of proofs to support the claim. If no claims are received within the period prescribed above, my clients shall be at the liberty to deal with the shares and interest of the deceased member in the manner they deem fit.

Adv. Forum Shah  
710, Arun Chambers,  
Tardeo Road, Mumbai-400 034  
Place : Mumbai  
Date : 14/03/23

**PUBLIC NOTICE**

Shri Valjibhai L. Vassa (Deceased) original member of Co-operative Housing Limited, having address at Building No. 6, Dr. D. B. Marg, Mumbai 400 008. He No. 23 in Building No. 15 of the holding Share Certificate bearing nos. 8116 to 8118 (inclusive) in the year 1969.

Shri Valjibhai L. Vassa nomination with Co-operative Housing Society 22/05/1984 vide LR/340 in Smt. Taragauri V. Vassa Harish V. Vassa (son).

Shri Valjibhai L. Vassa 18/09/1984 at Mumbai.

After the death Shri Valjibhai Smt. Taragauri V. Vassa (wife of late Shri Valjibhai L. Shri Harish V. Vassa (nominee of late Shri Valjibhai L. Vassa) application to the Society transmission under Bye-Laws nominees of the deceased Shri Valjibhai L. Vassa. Society has transferred the shares through transmission under no. 34 to Smt. Taragauri V. Shri Harish V. Vassa members vide LR/217/27/11/1984.

In the year 1993, Nominating Smt. Taragauri V. Vassa Harish V. Vassa have application dated 12/11/1993 adding the name of Smt. Vassa as Associate Member. Accordingly, the name of Smt. H. Vassa was added certificate as an associate member along with nominee member Harish V. Vassa (Nominee member) and Smt. Taragauri V. Vassa (Associate member) LR/3019/1993 on 05/01/1993

Thereafter Smt. Taragauri (Nominee member) made application on 06/06/1993 for deletion of her name from certificate and accordingly Society has deleted the name of Taragauri V. Vassa from certificate vide LR/3248/1993 dated 10/12/1996 and share certificate stands on following names Harish V. Vassa (Nominee member) and Smt. Bhavna H. Vassa (Associate member).

**KONKAN RAILWAY CORPORATION LIMITED**  
(A Government of India Undertaking)

**NOTICE INVITING TENDER**

Chief Commercial Manager, Konkan Railway Corporation Limited, Invites for two tenders through IREPS e-tendering system, from interested parties at Madgaon Railway Station over Konkan Railway", as per following schedule:

**Sr. No.: 1. Tender Notification No CO-16-12-2016-COMM** : Award of contract for "Renovation, Operation and Management of Executive Lounge. Sale of Tender forms: From 14.03.2023 to 03.04.2023. Last date of submission of tenders: On 03.04.2023 upto 17:00 hrs. Opening of tenders: On 03.04.2023 at 17:30 hrs.

**Sr. No.: 2. Tender Notification No.CO-16031-22-2022-COMM** : Award of contract for "Setting-up, Operations and Management of Box Hotel with temporary structure. Sale of Tender forms: From 14.03.2023 to 17.04.2023. Last date of submission of tenders: On 17.04.2023 upto 17:00 hrs. Opening of tenders: On 17.04.2023 at 17:30 hrs.

For more details, please visit [www.ireps.gov.in](http://www.ireps.gov.in).



**BRIHANMUMBAI MAHANAGARPALIKA**

**PUBLIC HEALTH DEPARTMENT**

**MUMBAI DISTRICT TUBERCULOSIS CONTROL SOCIETY**

**e-TENDER NOTICE**

NO.MDTCS/2628/TB, Date 13/03/2023

MUMBAI DISTRICT TUBERCULOSIS CONTROL SOCIETY of Brihanmumbai Municipal Corporation, Public Health Department invites e-tender for Hiring of Non-AC Cars under National Tuberculosis Eradication Programme.

The tender submission would be online and the deadline to submit the e-tender is 28/03/2023. For Further relevant information, bidders eligibility criteria and specification of items please visit [www.mcgm.gov.in](http://www.mcgm.gov.in) or contact Mumbai District Tuberculosis Control Society, Office of Dy Exe. Health Officer (T.B.), 1st Floor, Bawlawadi Municipal Office Bldg., Dr. B. A. Road Opp. Voltas House, Chinchpokali, Mumbai-400 013, working days between 11.00

**PUBLIC NOTICE**

Notice is hereby given that Mr. Shane Rebello, Miss Juroska Rochester Rocha and Late Mrs. Joan Rocha was owner of Flat i.e. Flat No. 335, A Wing, 3rd Floor, area admeasuring 350 sq.ft. (Built up) in the building known as Rashmi in Jeevan Vikas CHSL, Survey no. 95, Hissa No. (Part), Vill. Tulinj, Nallasopara (E), Tal. Vasai, Dist : Palghar-401 209 thereafter Mrs. Joan Rocha has died on 28.07.2015 and her husband Mr. Rochester Douglas Rocha has died on 07.05.2019 leaving behind Miss Juroska Rochester Rocha is the sole legal heir of deceased Mrs. Joan Rocha and Mr. Rochester Douglas Rocha. The undersigned advocate hereby invites claims or objections from other heir/s, claimant/s or objector/s for the transfer of the shares and intrest of the deceased in the

**PUBLIC NOTICE**

Notice is hereby given that my clients Hanif Usman Kapadia Partner of H & V. Reality LLP/Landlord and Owner of - 56/60, Madamwala Building, V. V. Chandan Street, Masjid (West), Mumbai-400 003, having its office at - 97, 003, having Floor, Ashoka Ground Centre, Near G. T. Shopping Centre, Near G. T. Hospital, L. T. Marg, Mumbai-400 001 are in possession of Room No. 19, 2nd Floor, 56/60 Madamwala Building, V. V. Chandan Street, Vadga, Masjid, Mandvi, Mymbar-400 003, hereinafter referred to as "said premises".

Any person or persons having any claim, demand, share, right, title and/or interest of any nature in respect of said premises by way of any Agreement, Sale, Transfer, Charge, encumbrances, tenancy right/occupancy right, and







# MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437  
Fax: 24044532/4024068/4023516  
Website: <http://mpcb.gov.in>  
Email: [jdwater@mpcb.gov.in](mailto:jdwater@mpcb.gov.in)



Kalpataru Point, 2nd and  
4th floor, Opp. Cine Planet  
Cinema, Near Sion Circle,  
Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I

No:- Format1.0/JD (WPC)/UAN No.0000159646/CE/2302000754

Date: 10/02/2023

To,

M/s. Shree Varad Builders and Developer  
LLP & Shree Mahalaxmi Enterprises  
S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1,  
64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2,  
63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2,  
Village Chulne, Tal: Vasai (W), Dist:  
Palghar



Your Service is Our Duty

## Sub: Consent to Establish for Residential with Shop line project granted under red category

Your application NO. MPCB-CONSENT-0000159646

For: grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- The Consent to Establish is granted for a period upto commissioning of project or up to 5 year whichever is earlier.**
- The capital investment of the project is Rs.90 Cr. (As per undertaking submitted by pp).**
- The Consent to Establish is valid for Residential with Shop line project named as M/s. Shree Varad Builders and Developer LLP & Shree Mahalaxmi Enterprises, at S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Village Chulne, Tal: Vasai (W), Dist: Palghar on Total Plot Area of 8073.00 SqMtrs for Total construction BUA of 28720.66 SqMtrs including utilities and services**
- Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
2.	Domestic effluent	98	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body



5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
1	DG Set ( 250 KVA)	1	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Dry Waste	250 Kg/Day	Segregtaion	segregate & handed over to local body
2	Wet Waste	165 Kg/Day	TOWC	Used as Manure

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:**

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	8	Ltr/M	NA	Handed over to Local Recycler.

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same should be binding on the industry
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities
10. PP shall provide adequate capacity of Sewage treatment plant so as to achieve treated domestic effluent standards for the parameter BOD-10 mg/lit
11. The treated domestic effluent shall be 60% recycled for secondary purpose such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening
12. The online monitoring system installed for the parameters PH, Flow, BOD,TSS at the outlet of STP & shall be connected to MPCB Server
13. Project Proponent shall make provision of charging port for Electric vehicles in at least 30% total available parking area
14. Project proponent shall take adequate measures to control noise & dust emission during construction phase
15. Project Proponent shall submit an affidavit in Board's prescribed format within 15 days regarding the compliance of conditions of EC /CRZ clearance and C to E
16. PP shall obtain Environmental Clearance for the proposed activity from competent authority and PP shall not take any effective step towards the construction work without obtaining Environmental Clearance & Project proponent shall submit Bank Guarantee of Rs. 10 Lakhs towards compliance of consent conditions

**Received Consent fee of -**

<b>Sr.No</b>	<b>Amount(Rs.)</b>	<b>Transaction/DR.No.</b>	<b>Date</b>	<b>Transaction Type</b>
1	125000.00	MPCB-DR-16807	23/01/2023	NEFT

**Copy to:**

1. Regional Officer, MPCB, Thane and Sub-Regional Officer, MPCB, Thane II  
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



## SCHEDULE-I

### **Terms & conditions for compliance of Water Pollution Control:**

- 1) A] As per your application, you have proposed to provide MBBR based Sewage Treatment Plants (STPs) of combined capacity **130 CMD for treatment of domestic effluent of 98 CMD.**
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

<b>Sr.No</b>	<b>Parameters</b>	<b>Limiting concentration not to exceed in mg/l, except for pH</b>
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

<b>Sr. No.</b>	<b>Purpose for water consumed</b>	<b>Water consumption quantity (CMD)</b>
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	117.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

## **SCHEDULE-II**

### **Terms & conditions for compliance of Air Pollution Control:**

- 1) **As per your application, you have proposed to provide the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-**

<b>Stack No.</b>	<b>Source</b>	<b>APC System provided/proposed</b>	<b>Stack Height(in mtr)</b>	<b>Type of Fuel</b>	<b>Sulphur Content(in %)</b>	<b>Pollutant</b>	<b>Standard</b>
1	DG SET 250 KVA	Acoustic Enclosure	10.00	HSD 32.4 Ltr/Hr	-	SO <sub>2</sub>	15.56 Kg/Day

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm <sup>3</sup>
-------------------------	---------------	------------------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - The toilet shall be provided with exhaust system connected to chimney through ducting.
  - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.



### SCHEDULE-III

#### Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish	Rs. 10 Lakh	15 days	Towards Compliance of Consent conditions & of Pollution Control Systems	Up to Commissioning of the project	Up to Commissioning of the project

\*\* The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.  
# Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

#### BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				

### SCHEDULE-IV

#### Conditions during construction phase

<b>A</b>	During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
<b>B</b>	During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
<b>C</b>	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

#### General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.

- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
  - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - f) D.G. Set shall be operated only in case of power failure.
  - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

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**This certificate is digitally & electronically signed.**

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Government of India  
Ministry of Environment, Forest and Climate Change  
(Issued by the State Environment Impact Assessment  
Authority(SEIAA), Maharashtra)

To,

The Designated Partner  
SHREE VARAD BUILDERS AND DEVELOPERS LLP  
C-501, SANSHKRUTI 1 CHS, J N ROAD, VASAI WEST, 401201 -401201

**Subject:** Grant of Environmental Clearance (EC) to the proposed Project Activity under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC) in respect of project submitted to the SEIAA vide proposal number SIA/MH/MIS/260153/2022 dated 08 Mar 2022. The particulars of the environmental clearance granted to the project are as below.

- |  |   |
|--|---|
| 1. EC Identification No.                   | EC23B038MH146038  |
| 2. File No.                                | SIA/MH/MIS/260153/2022  |
| 3. Project Type                            | New   |
| 4. Category                                | B2  |
| 5. Project/Activity including Schedule No. | 8(a) Building and Construction projects                                 |
| 6. Name of Project                         | Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises |
| 7. Name of Company/Organization            | SHREE VARAD BUILDERS AND DEVELOPERS LLP                                 |
| 8. Location of Project                     | Maharashtra   |
| 9. TOR Date                                | N/A   |

The project details along with terms and conditions are appended herewith from page no 2 onwards.

Date: 23/02/2023

(e-signed)  
Pravin C. Darade , I.A.S.  
Member Secretary  
SEIAA - (Maharashtra)

*Note: A valid environmental clearance shall be one that has EC identification number & E-Sign generated from PARIVESH. Please quote identification number in all future correspondence.*

*This is a computer generated cover page.*

PARIVESH

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and Virtuous Environmental Single-Window Hub)



**STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY**

No. SIA/MH/MIS/260153/2022  
Environment & Climate  
Change Department  
Room No. 217, 2<sup>nd</sup> Floor,  
Mantralaya, Mumbai- 400032.

To

M/s. Shree Varad Builders and Developers LLP  
& Shree Mahalaxmi Enterprises,  
S.No.64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1,  
64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2,  
63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2,  
Village: -Chulne, Vasai (W), Palghar.

**Subject** : Environmental Clearance for Proposed Residential with shipline Project at S.No.64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2 Village: - Chulne, Vasai (W), Palghar by M/s. Shree Varad Builders and Developers LLP and Shree Mahalaxmi Enterprises

**Reference** : Application no. SIA/MH/MIS/260153/2022

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 191<sup>st</sup> meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 256<sup>th</sup> (Day-3) meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below:-

Sr. No.	Description	Details	
1	Proposal Number	SIA/MH/MIS/260153/2022	
2	Name of Project	Residential with shipline project	
3	Project category	8(a)	
4	Type of Institution	Proprietor	
5	Project Proponent	Name	Mr. Rajesh Keshav Vartak
		Regd. Off. address	Shree Varad Builders and Developers LLP & others C-501, Sanskruti 1 CHS, J N Road, Vasai West – 401201
		Contact	7798045502
		e-mail	<a href="mailto:rajeshvartak015@gmail.com">rajeshvartak015@gmail.com</a>
6	Consultant	EIA Coordinator: Sourabh Jaiswar Pollution & Ecology Control Service NABET/EIA/2023/SA/0165 Validity till 14-1-2023	



7	Applied for		New Project				
8	Location of the project		S. No 64/6/1, 64/6/2, 64/4/1, 64/4/2, 64/7/1, 64/7/2, 64/5A/1, 64/5A/2, 63/8/1, 63/8/2, 63/6/1, 63/7/1, 63/7/2, 64/3/1, 64/3/2, Vill: -Chulne, Vasai (W), Palghar				
9	Latitude and Longitude		19° 22'17.06"N, and: 72° 49'00.31"E				
10	Plot Area (Sq.m.)		8073.00				
11	Deductions (Sq.m.)		4318.08				
12	Net Plot area (Sq.m.)		3754.12				
13	Ground coverage (m <sup>2</sup> ) & %		1125.40				
14	FSI Area (Sq.m.)		17950.41				
15	Non-FSI (Sq.m.)		10770.25				
16	Proposed built-up area (FSI + Non FSI) (Sq.m.)		28720.66				
17	TBUA (m <sup>2</sup> ) approved by Planning Authority till date		20087.49				
18	Earlier EC details with Total Construction area, if any.		NA				
19	Construction completed as per earlier EC (FSI + Non FSI) (Sq.m.)		NA				
20	<b>Previous EC / Existing Building</b>		<b>Proposed Configuration</b>			<b>Reason for Modification / Change</b>	
	<b>Building Name</b>	<b>Configuration</b>	<b>Height (m)</b>	<b>Bldg Name</b>	<b>Configuration</b>		<b>Ht (m)</b>
				1 Bldg	2 B+Gr.+P+E-Lvl+24.F	87.75	
21	No. of Tenements & Shops		Flats :164, Shops:12,				
22	Total Population		844 Nos.				
23	Total Water Requirements CMD		117				
24	Under Ground Tank (UGT)		Basement Level				
25	Source of water		VVCMC and Recycled Water				
26	STP Capacity & Technology		130 KLD & MBBR Technology				
27	STP Location		Basement Level				
28	Sewage Generation CMD & % of sewage discharge in sewer line		98 & 43 %				
29	Solid Waste Management during Construction Phase		<b>Type</b>	<b>Quantity (Kg/d)</b>	<b>Treatment/ disposal</b>		
			Dry waste	10	Local recyclers		
			Wet waste	15	Local recyclers		
		Construction waste	560 cum	used for Backfilling & Land levelling.			
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed		<b>Type</b>	<b>Quantity (Kg/d)</b>	<b>Treatment/ disposal</b>		
			Dry waste	250	Authorise vendor		
			Wet waste	165	Treated in OWC		
			E-Waste	10	Authorise vendor		
		STP Sludge	10	Used as Manure.			
31	R.G. Area in sq.mt.		RG Required – Nil				
			RG provided on Mother earth- 381.68 Sq.m				
			RG provided on Podium: -				

		Total – 381.68 Sq.mt.	
		Existing trees on plot: Nil	
		Number of trees to be planted: In RG area: 105 Nos.	
		Number of trees to be cut: 0 Nos.	
		Number of trees to be transplanted: 0	
32	Power requirement	Operation Phase:	
		Connected load (kW)	2082 kW
		Demand load (kW)	1118 kW
33	Energy Efficiency	a) Total Energy saving (%): 18.51% b) Solar energy (%): 5.01%	
34	D.G. set capacity	250 KVA	
35	No. of 4-W & 2-W Parking with 25% EV	4-Wheelers – 227Nos. 2-Wheelers –411Nos.	
36	No. & capacity of Rain water harvesting tanks /Pits	1 RWH tank and Capacity are 30 cum.	
37	Project Cost in (Cr.)	Rs. 98.40 Cr.	
38	EMP Cost	Capital Cost 170.00 Lakhs. O&M Cost 15.10 Lakhs/Year.	
39	CER Details with justification if any as per MoEF&CC circular dated 01/05/2018	-	
40	Details of Court Cases/litigations w.r.t the project and project location, if any.	-	

3. Proposal is a construction project. Proposal has been considered by SEIAA in its 256<sup>th</sup> (Day-3) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

**Specific Conditions:**

**A. SEAC Conditions-**

1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain CFO NOC.
3. Planning authority to ensure that assured water supply, sewer and storm water network are made available in the vicinity of the project before issuing occupation certificate to the project.
4. PP to submit revised architect certificate regarding break up of FSI, Non-FSI & total construction area as per Old DCR & prevailing UDCPR,2020.
5. PP to revise STP capacity to the extent of only 10% of actual sewage generation within the project site; PP to reduce discharge of treated water up to 35%; PP to submit

undertaking from concerned authority/agency/third party regarding use of excess treated water.

6. PP to obtain NOC from State Wetland Authority, if required.

**B. SEIAA Conditions-**

1. This EC is restricted up to 69.95 m height only as per CFO NOC.
2. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
3. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
4. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
5. SEIAA after deliberation decided to grant EC for – FSI –12426.71 m<sup>2</sup>, Non FSI-7660.79m<sup>2</sup>, Total BUA-20087.49 m<sup>2</sup>. (Plan approval No. VVCMC/TP/AMEND /58068/5819/351/2022-23 dated.04.10.2022)

**General Conditions:**

**a) Construction Phase :-**

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.

- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

**B) Operation phase:-**

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to



- give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.
- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
  - V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
  - VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
  - VII. PP to provide adequate electric charging points for electric vehicles (EVs).
  - VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
  - IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
  - X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
  - XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at [parivesh.nic.in](http://parivesh.nic.in)
  - XII. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
  - XIII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
  - XIV. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO<sub>2</sub>, NO<sub>x</sub> (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

**C) General EC Conditions:-**

- I. PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.
  - II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
  - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
  - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
  - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
  - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
  - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.

8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1<sup>st</sup> Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Pravin Darade  
(Member Secretary, SEIAA)

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Palghar.
6. Commissioner, Vasai Virar Municipal Corporation
7. Regional Officer, Maharashtra Pollution Control Board, Thane.